

Title	Planning Applications
To:	Planning Control Committee
On:	24 June 2014
By:	Development Manager
Status:	For Publication

Executive Summary

The attached reports present members with a description of various planning applications, the results of consultations, relevant policies, site history and issues involved.

My recommendations in each case are given in the attached reports.

This report has the following implications

Township Forum/ Ward: Identified in each case.

Policy: Identified in each case.

Resources: Not generally applicable.

Equality Act 2010: All planning applications are considered in light of the Equality Act 2010 and associated Public Sector Equality Duty, where the Council is required to have due regard for:
The elimination of discrimination, harassment and victimisation;
The advancement of equality of opportunity between persons who share a relevant protected characteristic and person who do not share it;
The fostering of good relations between persons who share a relevant protected characteristic and person who do not share it; which applies to people from the protected equality groups.

Human Rights: All planning applications are considered against the provisions of the Human Rights Act 1998.

Under Article 6 the applicants (and those third parties who have made representations) have the right to a fair hearing and to this end full consideration will be given to their comments.

Article 8 and Protocol 1 of the First Article confer a right to respect private and family life and a right to the protection of property, ie peaceful enjoyment of one's possessions which could include a person's home, and other land and business assets.

In taking account of the Council policy as set out in the Bury Unitary Development Plan 1997 and all material planning considerations, I have concluded on balance that the rights conferred upon the applicant/ objectors/ residents/ other interested party by Article 8 and Article 1 of the First Protocol may be interfered with, since such interference is in accordance with the law and is justified in the public interest. Any restriction of these rights posed by refusal/ approval of the application is legitimate since it is proportionate to the wider benefits of such a decision, is based

upon the merits of the proposal, and falls within the margin of discretion afforded to the Council under the Town & Country Planning Acts.

Development Manager

Background Documents

1. The planning application forms and plans submitted therewith.
2. Certificates relating to the ownership.
3. Letters and Documents from objectors or other interested parties.
4. Responses from Consultees.

FOR FURTHER INFORMATION ON THE CONTENTS OF EACH REPORT PLEASE CONTACT INDIVIDUAL CASE OFFICERS IDENTIFIED IN EACH CASE.

01	Township Forum - Ward: Bury East - Redvales	App No. 57255
	Location: Land off Radcliffe Road/Inglewhite Close, Bury, BL9 9JT	
	Proposal: Erection of 34 no. dwellings (resubmission)	
	Recommendation: Minded to Approve	Site Visit: Y
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02	Township Forum - Ward: Prestwich - Holyrood	App No. 57379
	Location: Land between Kenyon Lane and Henry Street, Prestwich, Manchester, M25 1HY	
	Proposal: Erection of 6 no. dwellings	
	Recommendation: Minded to Approve	Site Visit: Y
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03	Township Forum - Ward: Ramsbottom and Tottington - Ramsbottom	App No. 57448
	Location: 6-8 Market Place, Ramsbottom, Bury, BL0 9HT	
	Proposal: Change of use from shop (Class A1) to dental surgery (Class D1)	
	Recommendation: Approve with Conditions	Site Visit: N
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04	Township Forum - Ward: Prestwich - St Mary's	App No. 57464
	Location: Land off Kingswood Road, Prestwich, Manchester, M25 3BP	
	Proposal: Demolition of existing buildings for residential development of 6 detached and 18 semi-detached houses with associated external works.	
	Recommendation: Minded to Approve	Site Visit: N
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05	Township Forum - Ward: Whitefield + Unsworth - Unsworth	App No. 57470
	Location: Bury & Whitefield Jewish Primary School, Parr Lane, Bury, BL9 8JT	
	Proposal: Single storey nursery building	
	Recommendation: Approve with Conditions	Site Visit: N
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06	Township Forum - Ward: Radcliffe - West	App No. 57487
	Location: Bankside Mill, Chapelfield, Radcliffe, Manchester, M26 1JF	
	Proposal: Substitution of plots 3 and 10 to approval no. 56201 - Residential development of 14No. dwellings with associated site access, parking and landscape works.	
	Recommendation: Minded to Approve	Site Visit: N
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07	Township Forum - Ward: Radcliffe - East	App No. 57508

Location: Spenside, Bury and Bolton Road, Radcliffe, Manchester, M26 4LA
Proposal: Erection of 4 no. detached dwellings
Recommendation: Minded to Approve **Site Visit:** N

08 Township Forum - Ward: Whitefield + Unsworth - Unsworth **App No.** 57516

Location: Parr Lane Service Station, Parr Lane, Bury, BL9 8LZ
Proposal: Prior notification of removal of existing 11.3 metre monopole and installation of 15 metre monopole (resubmission)
Recommendation: Prior Approval Required and Granted **Site Visit:** Y

09 Township Forum - Ward: Whitefield + Unsworth - Pilkington Park **App No.** 57525

Location: Whitefield House, Pinfold Lane, Whitefield, Manchester, M45 7NY
Proposal: Variation of condition no. 20 of planning permission 53353 (60 no. bed care home with ancillary clinic/rehabilitation facilities, car parking and landscaping) to:
The construction of the care home and associated works within the site shall not commence unless and until a scheme showing the phased implementation of the development has been submitted to and approved by the Local Planning Authority. The development shall be implemented in accordance with the approved details only. The new access shall be formed onto Pinfold Lane and the redundant access reinstated as indicated on approved plan reference 2004-094/850 before first occupation of the building. All the public highway works shall then be implemented to a standard that makes them available for public use before the development is first brought into use.
Recommendation: Approve with Conditions **Site Visit:** N

10 Township Forum - Ward: Whitefield + Unsworth - Pilkington Park **App No.** 57535

Location: Dudley House, Clarkes Hill, Whitefield, Manchester, M45 7TG
Proposal: Erection of additional domestic kennelling facility (resubmission of 57210).
Recommendation: Approve with Conditions **Site Visit:** N

Ward: Bury East - Redvales

Item 01

Applicant: Morris Homes Ltd

Location: Land off Radcliffe Road/Inglewhite Close, Bury, BL9 9JT

Proposal: Erection of 34 no. dwellings (resubmission)

Application Ref: 57255/Full

Target Date: 30/05/2014

Recommendation: Minded to Approve

It is recommended that this application is Minded to Approve subject to the signing and completion of a Section 106 agreement for recreation provision in accordance with Policy RT2/2 of the adopted Unitary Development Plan and SPD1 and Affordable Housing provision in accordance with H4/1 - Affordable Housing of the adopted Unitary Development Plan and SPD 5. Should the agreement not be signed and completed within a reasonable period, it is requested that the application be determined by the Development Manager.

Description

The site relates to a piece of land which formerly accommodated an elderly persons care home, demolished in 2008 and council office buildings which have been vacant since 2010. It is set within a predominantly residential area and accessed via Inglewhite Close. The site is bounded to the north and west by residential properties, the Derby High School to the north east, a church to the east and along the southern boundary is Radcliffe Road, with semi-detached houses opposite.

The site is subject to TPO Order (no 225) of 31 trees and over time the site has also become overgrown with self seeded trees.

The proposal is for the demolition of the council buildings and the redevelopment of the site for the residential purposes comprising 34 houses. This would involve a mix of properties of 7 x 2 bed mews style, 4 x 3 bed mews/semi, 10 x 3 bed detached and 13 x 4 bed detached, in an open plan estate arrangement, with the main access off Inglewhite Close. There would also be an access created directly off Radcliffe Road which would serve several houses to the south of the site. 21 of the properties would either have integral or detached garages, with in curtilage parking provided throughout the remainder of the development.

The dwellings would comprise a mix of brick built elevations with tiled roofs and reflect the design and appearance not dissimilar to the houses on Inglewhite Close. Corner and entrance plots would have dual aspects.

The development would necessitate the removal of 12 TPO trees, and 23 non TPO trees. A landscaping plan has been submitted with a proposed replacement planting scheme.

Relevant Planning History

56693 - Erection of 34 houses - Withdrawn

Publicity

71 letters sent on 4/3/2014 to properties at Ribchester Drive; Radcliffe Road; Altham Close; Inglewhite Close and Coronation Road.

Site notice posted 11/3/2014.

Press advert in the Bury Times 13/3/2014.

One letter of objection received from No 1 Inglewhite Close which raises the following

issues:

- There are already access issues into Inglewhite Close which would be exacerbated by the proposed scheme.

The objector has been informed of the Planning Control Committee meeting.

Consultations

Traffic Section - No objection subject to conditions.

Drainage Section - No objection subject to condition.

Environmental Health Contaminated Land - No objection subject to conditions.

Waste Management - No objection The hardstanding areas indicated for the wheeled bins would need to accommodate 2 bins per property on collection day.

Environment Agency - No objection subject to conditions.

Greater Manchester Police - designforsecurity - A Crime Impact Statement has been submitted with recommendations made. These would be included as an informative for the applicant to consider.

United Utilities (Water and Waste) - No response received.

The Coal Authority - No objection

Fire Protection Dept Bury Fire Station (Part B) - Informative included detailing the requirements for Fire Service access

Unitary Development Plan and Policies

NPPF	National Planning Policy Framework
H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
EN1/2	Townscape and Built Design
EN1/5	Crime Prevention
EN6/3	Features of Ecological Value
EN9	Landscape
H4/1	Affordable Housing
RT2/2	Recreation Provision in New Housing Development
EN7/3	Water Pollution
SPD1	DC Policy Guidance Note 1:Recreation Provision
SPD5	DC Policy Guidance Note 5: Affordable Housing
SPD6	Supplementary Planning Document 6: Alterations & Extensions
HT2/4	Car Parking and New Development
HT6/2	Pedestrian/Vehicular Conflict
HT4	New Development
EN8/2	Woodland and Tree Planting
HT5/1	Access For Those with Special Needs
EN5/1	New Development and Flood Risk
SPD16	Design and Layout of New Development in Bury
SPD11	Parking Standards in Bury
NPPG	National Planning Policy Guide

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - Following revocation of the North West Regional Spatial Strategy on 20 May 2013, there is no statutory housing target for Bury. Work is in progress on Bury's Local Plan - "The Core Strategy", which will bring forward a new statutory housing target. It is currently proposed that the new housing target in the Local Plan should be set at 400 dwellings per

annum, which is currently timetabled to be adopted in 2014.

In the meantime, the National Planning Policy Framework should be treated as a material planning consideration and it emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and long term. There is a particular emphasis, as in previous national planning guidance, to identify a rolling five year supply of deliverable housing land.

UDP Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

UDP Policies H2/1 - The Form of New Residential Development and H2/2 - The Layout of New Residential Development takes into consideration factors relating to the height and roof type of adjacent buildings, the impact of developments on residential amenity, the density and character of the surrounding area and the position and proximity of neighbouring properties. Regard is also given to parking provision and access, landscaping and protection of trees/hedgerows and external areas.

Supplementary Planning Document 6 - Alterations and Extensions to Residential Properties provides useful guidance in terms of acceptable aspect standards between dwellings.

The application relates to a brownfield site which previously accommodated an elderly persons care home which was demolished in 2008. There are a number of council buildings which were last used as offices in 2010 and since then the site has remained unused. The site is in a sustainable location in a residential urban area and served by existing infrastructure. The layout demonstrates that the site could satisfactorily accommodate the proposed development in relation to neighbouring properties and the surrounding area.

As such, the principle is in general accordance with local planning policy H1/2 - Further Housing Development and complies with national planning policy.

Layout - The scheme would be laid out in a relatively standard estate form, with 2 routes into the site, one off Inglewhite Close serving 21 houses and a new access created off Radcliffe Road to serve 13 houses. The 2 properties fronting Radcliffe Road, plots 1 and 12a, would have a dual aspect to acknowledge the street scene and avoid a blank gable fronting the main road. Similarly, plots 14 and 32 which are located on the corners of the development would be similarly orientated with dual aspects.

There would be at least 2 parking spaces per dwelling, provided by either integral or detached garages or in curtilage spaces adjacent or in front of the houses. The properties would benefit from suitably sized rear gardens enclosed by timber fencing and areas for bin storage. There would be 2 hardstanding areas within the site for the storage of bins on waste collection days for those properties which are only accessible via private driveways. The plan shows the area would be large enough to accommodate 2 bins per property on collection days as requested by the waste management team.

The layout of the development has been designed to reflect the character of the adjacent residential estate and would utilise the amount of land available to maximise the potential of the site for delivering houses to the area. It is considered the layout would generate significant benefits to the area without undue detriment to the residents of nearby properties.

As such, the proposed layout is considered to be acceptable and would comply with UDP policies H2/1 - The Form of New Residential Development and H2/2 - The Layout of New Residential Development.

Design and appearance - The proposed development would comprise 2 storey properties

with a mix of mews, semi and detached styles and would reflect the general scale, massing and character of the residential properties in the surrounding area. The scheme would be a modern approach to a new small scale housing development and incorporate features such as bay windows, canopies, brick eaves, stone cills and headers.

The houses would be constructed from red facing brick and grey tiled roofs incorporating distinctive brickwork detailing. Samples of materials would be requested for further approval. Shared driveways would be delineated in contrasting material or kerb edging's and boundary treatment comprise 1.8m high timber fencing in between gardens and to rear boundaries. A 1.8m high wall section would link plot 12a to the detached garage to provide privacy and security to this plot from Radcliffe Road. Low garden railings and walls to the front of dwellings would define private amenity areas from the public domain and contribute to the character of the layout scheme.

Hard and soft landscaping would be provided throughout the site and a landscape plan has been submitted which includes locally native plants and trees to replace vegetation removed and create a sense of place, character and setting for the new homes.

As such, the development is considered to be acceptable in terms of appearance, form and design, would relate well to the surrounding area and as such would be in accordance with UDP Policies EN1/2 and H2/1.

Impact upon residential amenity - The houses on the periphery of the site comprise traditional 2 storey semi detached properties on Ribchester Drive and the newer built houses on Inglewhite Close, which are also 2 storey and of varying design types. The proposed dwellings would all be 2 storey and would sit comfortably within the site boundaries, allowing for respectful aspect standards and separation distances. The new dwellings to the northern boundary on plots 29 and 34 would be side on to No 2 Inglewhite Close and therefore not impact on privacy or overlooking.

There would be a separation distance of more than 20m from the proposed houses on the western boundary to the existing houses on Ribchester Drive, and separated by a 1.8m timber fence as well as planting along the rear boundaries.

Aspect standards within the development site itself would be achieved to comply with SPD 6.

The scheme would therefore comply with UDP Policies H2/1 - The Form of New Residential Development and H2/2 - The Layout of New Residential Development and SPD6.

Parking and access - The properties to the north of the site would be served by the existing route off Inglewhite Close and a new access would be created off Radcliffe Road into a cul de sac layout serving houses to the south of the site and leading to communal driveways for plots 9-12a and 2-5. Visibility splays have been incorporated on advice from the Traffic section and the road layout and pedestrian footpaths designed to a satisfactory standard.

The objector has raised concerns about the impact on access and the increase in traffic to the area. The access off Inglewhite Close into the development would serve 21 new properties. The site previously accommodated a care home and council offices which would have generated a certain amount of vehicular movement in the area, possibly more so at peak times in the morning and evening, whereas a residential development is more likely to be spread out over a period time during the day. In addition, the new access into the site directly off Radcliffe Road to serve 13 of the properties would alleviate some of the traffic pressure in the Ribchester Road/Inglewhite Close area.

SPD 11 - Parking Standards in Bury states that the maximum parking standards for residential dwellings within a high access area are 1.5 per 2 bed, 2 per 3 bed and 3 per 4 bed and these standards would be complied with, either through the provision of a detached or integral garage or in curtilage parking.

The development is considered not to generate significantly more traffic which would be detrimental to the amenities of local residents. The Traffic section have not raised any objections to the scheme subject to conditions and as such the proposed development would be in accordance with UDP Policies H2/1 - The Form of New Residential Development and H2/2 - The Layout of New Residential Development.

Lighting - The layout does not show include any details of lighting provision within the site. Given the development would be in open plan estate form, it is considered reasonable to request a lighting scheme be submitted, and this would be achieved by an appropriate condition.

Lifetime Homes - The proposal would afford the opportunity to incorporate provision of lifetime homes standards within the development and something the Council would seek to advocate in such housing schemes. Details of such provisions would be sought from the applicant by a suitably worded condition.

Trees - The development would result in the removal of 12 TPO trees and 23 non TPO trees and all have been assessed as being either Category B (good to moderate) or C (moderate to poor). The majority of the trees are positioned within the site, and not visible from main public views nor do they provide any particular amenity value to the street scene. There would be 19 TPO trees retained on the site, which would be subject to protection measures during construction works and included as a condition. As such their removal is not considered to be harmful to the visual amenity of the site or the surroundings.

The trees categorised as A (significant amenity value and retention desirable) are located along the front of the site, form part of the tree lined street and contribute to a pleasant visually amenable street scene. These trees would be retained and again subject to protection measures.

A proposed landscape plan indicates a total of 30 no. replacement trees in a variety of species would be incorporated within the development and would contribute to the visual enhancement of the residential layout.

As such, the proposals are considered to be acceptable and would comply with EN1/2 - Townscape and Built Design, H2/2 - The Layout of New Residential Development and EN8/2 - Woodland and Tree Planting.

Flooding - The site is located within Flood Zone 2 and at risk of flooding 1 in 1000 years. To mitigate this, the FRA proposes that the finished floor levels of all dwellings be set at a minimum of 72.65mAOD which would be acceptable in principle to the Environment Agency. To ensure the proposed development meets the policy requirement of the NPPF and to ensure that the development is safe and does not increase flood risk elsewhere, the EA proposes conditions which would be included as part of an approval.

In terms of the surrounding area, the proposed site levels would not change significantly along the frontage to Radcliffe Road. When compared to the existing adjacent dwellings to the west, the site would be marginally higher, circa 400mm and as such a consistent relationship to these properties would be maintained.

As such the proposal is considered to comply with Chapter 10 of the National Planning Policy Framework - Meeting the Challenge of Climate Change, Flooding and Coastal Change.

Ecology -

Buildings - The bat survey concluded that the buildings had relatively low potential to support roosting bats within the main areas of potential. A single nocturnal emergence survey was also undertaken with no evidence of bats. As such, it is considered that an informative advising works stop should bats be found would be sufficient.

Site - No potential roost habitat was identified within the treed area and the survey recommends that no further action is required with regards to bats. In relation to nesting birds, the development has the potential to cause disturbance to breeding birds within the surrounding trees and as such it is recommended that if work is carried out during the breeding season, a further survey be carried out prior to the commencement of the works, which would be included as a condition.

A number of features of local ecological value have been identified in the Habitat Survey report including nesting birds, nectar sources for invertebrates, semi-mature trees and species rich grasslands on former developed sites. In order to ensure there is no loss of biodiversity, the GMEU recommend a condition that an appropriate landscaping scheme be submitted in order to fulfill section 109 of the NPPF and this has been included as condition 22.

There was evidence of Himalayan balsam on site and a method statement should be carried out prior to the commencement of works. This would be a condition of an approval.

Planning Obligations - UDP Policy H4/1 seeks the provision of 25% of units on large housing sites to be affordable, in line with SPD 5. The proposal seeks to provide 8 of the units to be affordable, which equates to 24% of the units. This is broadly in line with the policy requirements and is acceptable in this instance due to some viability issues with the site (as discussed below).

The scale of proposals requires a recreation contribution of £110,559 towards off-site recreation provision pursuant to SPD1. However, the applicant has provided a detailed viability assessment that sets out a number of abnormal development costs associated with the site. These costs relate to a range of issues including flood risk measures that have to be undertaken and abnormal foundation requirements because of the ground conditions. As a result, it has been demonstrated that the viability of the scheme would be marginal should the full recreational provision be provided. The applicant has offered 50% of the provision equating to £55,280. On balance, based on the viability evidence that has been submitted and given that the affordable housing requirements have broadly been met, this offer is deemed to be reasonable.

Both the affordable housing and recreation provision will be secured through a S106 agreement.

Response to objector - The issues raised with regard to traffic have been covered in the above report.

Statement in accordance with Article 31 Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2012

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Minded to Approve

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.

2. This decision relates to drawings numbered - N912/P/LP01 Rev A; N912/P-/HTAPP/02; N912/P-/HTAPP/01; N912/P-/HTBER/02; N912/P-/HTBER01; N912/P-/HTBU/02; N912/P-/HTBU/01; N912/P-/HTDID/S/02; N912/P-/HTDID/S/01; N912/P-/HTDID/02; N912/P-/HTDID/01; N912/P-/HTDUN/02; N912/P-/HTDUN/01; N912/P-/HTEDG/02; N912/P-/HTEDG/01; N912/P-/HTELY/02; N912/P-/HTELY/01; SCP/13254/F01; N912/P/TP01; N912/P/PL01 Rev B; 1817 01; M2273.01; F1-1; F2-3 Rev A; F3-1; GR1; GR2-1 Rev A; Design and Access Statement September 2013; Tree Survey Report August 2013; Crime Impact Statement Version A:21st August 2013; Extended Phase 1 Habitat Survey Report August 2013; Bat Survey Report September 2013; Flood Risk assessment August 2013 30011/SRG; Phase I and Phase II Site investigation August 2013 45157p1r0 and p1r1 and 45168p1r1 October 2013; Supplementary Mining Investigation letter dated 17th October 2013 Ref 01c45157 and the development shall not be carried out except in accordance with the drawings hereby approved.
- Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. No development shall commence unless and until:-
- A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
 - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
 - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.
- Reason. To secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
4. Following the provisions of Condition 3 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.
- Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
5. Any soil or soil forming materials brought to site for use in garden areas, soft landscaping, filling and level raising shall be tested for contamination and suitability for use on site. Proposals for contamination testing including testing schedules, sampling frequencies and allowable contaminant concentrations (as determined by appropriate risk assessment) and source material information shall be submitted to and approved in writing by the Local Planning Authority prior to any soil or soil forming materials being brought onto site, and;
- The approved contamination testing shall then be carried out and validity evidence (soil descriptions, laboratory certificates, photographs etc) submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.
- Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National

Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

6. All instances of contamination encountered during the development works which do not form part of an approved Remediation Strategy shall be reported to the Local Planning Authority (LPA) immediately and the following shall be carried out where appropriate:
 - Any further investigation, risk assessment, remedial and / or protective works shall be carried out to agreed timescales and be approved by the LPA in writing;
 - A Site Verification Report detailing the conclusions and actions taken at each stage of the works including validation works shall be submitted to, and approved in writing by, the LPA prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
7. Following the provisions of Condition 3 of this planning permission, where ground gas remediation / protection measures are required, the approved Remediation Strategy must be carried out to the written satisfaction of the Local Planning Authority within approved timescales; and
A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To alleviate any possible risk associated with the production of landfill gas and ground gas in accordance with the recommendations of the Environment Agency and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
8. The development hereby approved shall not be first occupied unless and until the access alterations on Radcliffe Road and Inglewhite Close, incorporating all necessary footway remedial works, reinstatement of the redundant site access, relocation/replacement of affected street lighting and cycle lane signage, indicated on approved plan reference N912/P/PL01 Revision A, have been implemented in full to the written satisfaction of the Local Planning Authority.

Reason. To ensure good highway design in the interests of road safety and to maintain the integrity of the adopted highway pursuant to Bury Unitary Development Plan Policies H2/2 - The Layout of New Residential Development and HT 6/2 - Pedestrian/Vehicular Conflict.
9. The visibility splays indicated on approved plan reference SCP/13254/F01 shall be implemented to the written satisfaction of the Local Planning Authority before the site accesses and relevant driveways are brought into use and subsequently maintained free of obstruction above the height of 0.6m.

Reason. To ensure the intervisibility of the users of the site and the adjacent highways in the interests of road safety pursuant to Bury Unitary Development Plan Policy HT6/2 - Pedestrian/Vehicular Conflict
10. A minimum hardstanding of 5.5m measured between the highway and any proposed garage doors shall be provided and thereafter maintained.

Reason. To enable a vehicle to stand clear of the highway whilst the garage doors are opened and to allow adequate space to maintain a vehicle clear of the highway in the interests of road safety pursuant to Policy H2/2 - The Layout of New Residential Development of the Bury Unitary Development Plan.

11. The turning facilities indicated on approved plan reference N912/P/PL01 Revision A (or similar alternative provision that enables construction traffic to enter and leave the site in a forward gear agreed in writing with the Local Planning Authority) shall be provided before construction of the dwellings is commenced and shall subsequently be maintained free of obstruction at all times.
Reason. To minimise the standing and turning movements of vehicles on the highway in the interests of road safety during construction of the development and thereafter pursuant to Bury Unitary Development Plan Policy HT4 - New Development.
12. The bin collection hardstanding areas serving Plots 9-12a & 24-29 indicated on approved plan reference N912/P/PL01 Revision A shall be provided before the plots to which they relate are first occupied and shall subsequently be maintained thereafter for this use.
Reason. To ensure adequate off-highway refuse collection facilities are provided, in the interests of pedestrian safety pursuant to Bury Unitary Development Plan Policy H2/2 - The Layout of New Residential Development.
13. The Developer, within one week of the commencement of development, shall ensure that there is provision to be made for the parking on site of operatives and construction vehicles together with storage on site of construction materials. The provision shall be retained and used for the intended purpose for the duration of the construction period and that area shall not be used for any other purposes other than the parking of vehicles and storage of construction materials respectively.
Reason. To ensure adequate off street car parking provision for the duration of the construction period in the interests of road safety pursuant to Bury Unitary Development Plan Policy HT4 - New Development.
14. Before the development is commenced, details shall be submitted to and approved by the Local Planning Authority to cover measures to ensure that all mud and other loose materials are not carried on the wheels and chassis of any vehicles leaving the site and measures to minimise dust nuisance caused by the operations. The approved details shall be implemented and maintained thereafter during the period of construction.
Reason. To ensure that the adopted highways are kept free of deposited material from the ground works operations pursuant to Bury Unitary Development Plan Policy HT 4 - New Development.
15. No trees or shrubs should be removed between 1st March and 31st August inclusive in any year, unless a detailed bird nest survey by a suitable experienced ecologist has been carried out immediately prior to clearance. Written confirmation should be provided to the Local Planning Authority that no bird nests are present to be agreed and approved by the Local Planning Authority.
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
16. No development shall commence unless and until a lighting scheme has been submitted for approval by the Local Planning Authority. The approved scheme only shall be implemented prior to the first occupation of the dwellings hereby approved and thereafter maintained.
Reason. In the interests of residential amenity and security of the future occupiers of the dwellings pursuant to Bury Unitary Development Plan Policy H2/2 - The Layout of New Residential Development and EN1/5 - Crime prevention.
17. Provision for lifetime homes shall be incorporated into the development in

accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority prior to the development hereby approved commencing. The development shall then be carried out incorporating the measures in accordance with the approved scheme.

Reason. To ensure that the development is fully accessible to disabled persons pursuant to Policies HT5/1 – Access for Those with Special Needs of the Bury Unitary Development Plan.

18. The development hereby permitted shall not be commenced until such time as a scheme to ensure finished floor levels of proposed buildings are set no lower than 72.65m above Ordnance Datum (AOD), has been submitted to and approved in writing by the Local Planning Authority. The approved scheme only shall be implemented.
Reason. To reduce the risk of flooding to the proposed development and future occupants pursuant to chapter 10 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.
19. The development hereby permitted shall not be commenced until such time as details of an emergency evacuation plan, including the registration with Floodline to receive Flood Warnings have been submitted to, and approved in writing by, the Local Planning Authority. The approved details only shall be made available to all future occupiers of the development hereby approved prior to occupation.
Reason. To ensure safe access and egress from and to the site pursuant to chapter 10 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.
20. The development hereby permitted shall not be commenced until such time as a scheme to regulate the surface water run-off generated by the proposed development to 6.6l/s and a scheme to manage the risk of flooding from overland flow of surface water has been submitted to and approved in writing by the local planning authority. The scheme shall also confirm the existing and proposed receptors for the discharge of surface water from the site. The approved scheme only shall be implemented prior to first occupation.
Reason. To reduce the risk of flooding by ensuring the satisfactory storage of/disposal of surface water from the site pursuant to chapter 10 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.
21. Prior to any commencement of works on site, a method statement detailing avoidance and or control and or eradication measures for Himalayan balsam should be supplied to and agreed by the Local Planning Authority. The measures shall be carried out strictly in accordance with the approved scheme.
Reason. To ensure that the site is free from Himalayan Balsam in the interest of UDP Policy EN9 - Landscape.
22. No development shall commence unless and until a landscape and ecological enhancement plan including measures to mitigate for loss of trees, shrubs, bird nesting habitat and nectar sources has been submitted to and agreed by the Local Planning Authority. The approved plan shall be implemented in accordance with the approved details.
Reason. In order to ensure no loss of biodiversity pursuant to UDP Policy EN6 - Conservation of the Natural Environment and chapter 11 - Conserving and enhancing the natural environment of the NPPF.
23. The development hereby approved shall not commence unless and until a scheme of protection for all trees and all TPO trees to be retained on site in accordance with BS 5837:2005 "Trees in Relation to Construction" as amended has been submitted to and agreed in writing by the Local Planning Authority. The development shall not commence unless and until the measures required by that scheme have been implemented, to the written satisfaction of the Local Planning

Authority and all measures required by the scheme shall continue until the development has been completed.

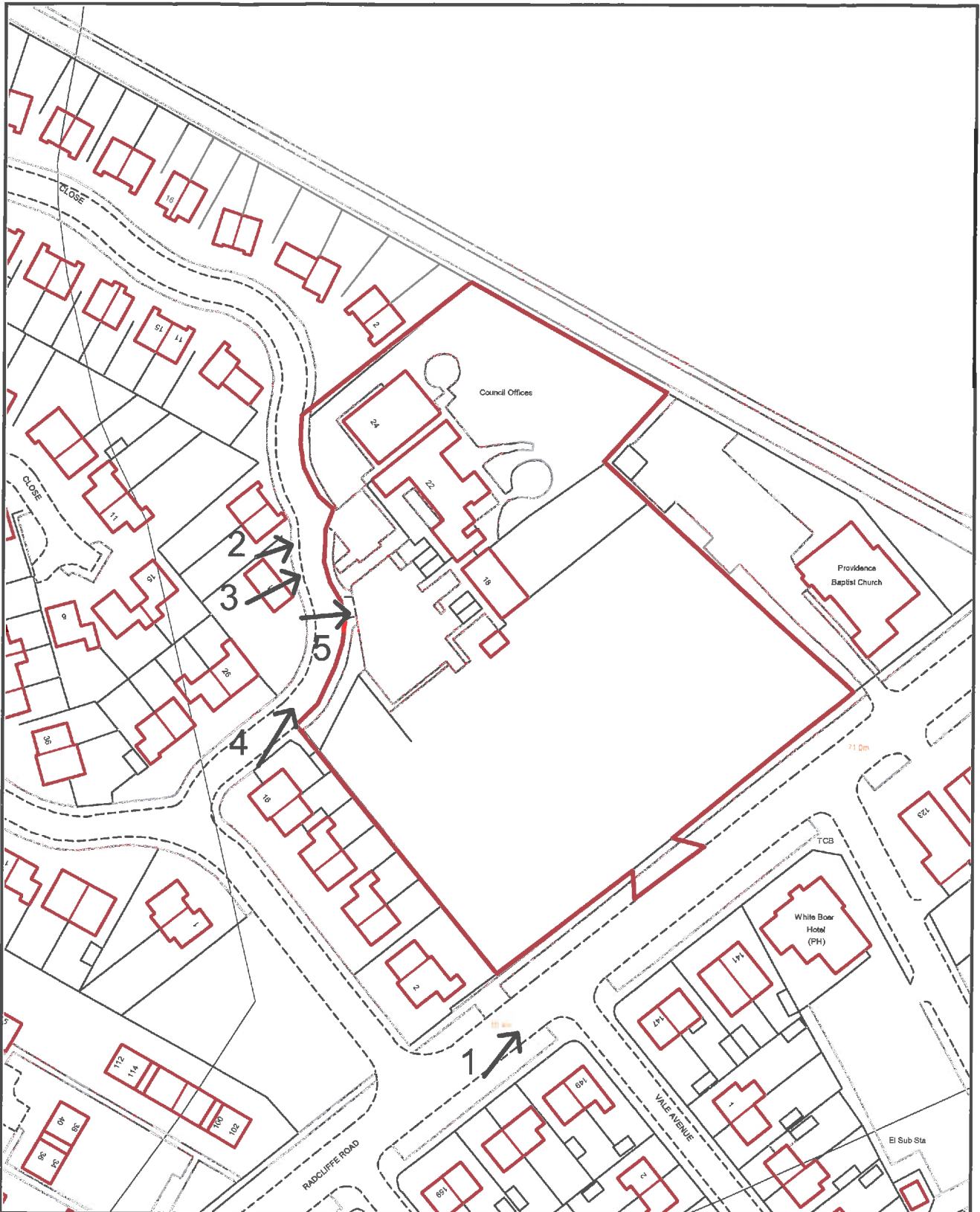
Reason. To avoid the loss of trees which are of amenity value to the area pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.

24. Notwithstanding the terms of the Town and Country Planning (General Permitted Development) Order 1995, as subsequently amended, no development shall be carried out within the terms of Classes A, B, C and E of Part 1 of Schedule 2 of the Order, without the prior written consent of the Local Planning Authority.

Reason. To ensure that future inappropriate alterations or extensions do not occur pursuant to policies of the Unitary Development Plan listed.

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 57255

ADDRESS: Land off Radcliffe Road/Inglewhite Close
Bury



Bury
COUNCIL

Planning, Environmental and Regulatory Services **1:1250**

(C) Crown Copyright and database right (2013). Ordnance Survey 100023063.

57255

Photo 1



Photo 2



57255

Photo 3



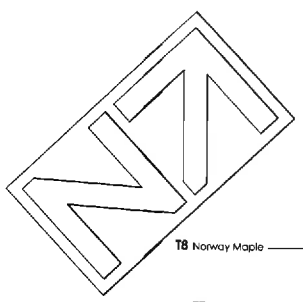
Photo 4



57255

Photo 5





SCHEDULE OF ACCOMMODATION				
NAME	DESCRIPTION	SIZE (sqft)	Units	TOTAL (sqft)
Edgware	2 bed apartment - fly over	685	1	685
Budworth	2 bed mews	687	6	4122
Didsbury Semi	3 bed semi/mews	874	4	3496
Didsbury Detached	3 bed detached	874	2	1748
Dunham 2	3 bed detached/det single garage	957	3	2871
Ely	3 bed detached/int. single garage	938	5	4690
Appleton 2	4 bed detached/int. single garage	1054	9	9486
Berrington Side Aspect	4 bed detached/det single garage	1100	4	4400
TOTAL			34	31,498

LEGEND	
	Proposed dwelling
	Proposed dwelling to be built opposite hand
	Proposed brick built garage
	Proposed garage space
	Common areas of shared drives in contrasting material or kerb edgings to delineate shared drive area
	Proposed 1.8m high feather edge boarded timber screen fence
	Proposed 1.8m high feather edge boarded timber screen fence with P.C.C. posts & gravel boards
	Proposed 1.8m high screen wall
	Proposed Low Wall with Railing Infill
	Proposed 1.2m high railings
	Proposed 0.45m high timber V-rail fence
	Existing hedge to be retained
	Existing hedge to be removed
	Existing tree to be retained
	Existing tree to be removed

MATERIALS SCHEDULE		
Brick Type	Roof Tile	Door Colour
WR		
YG		

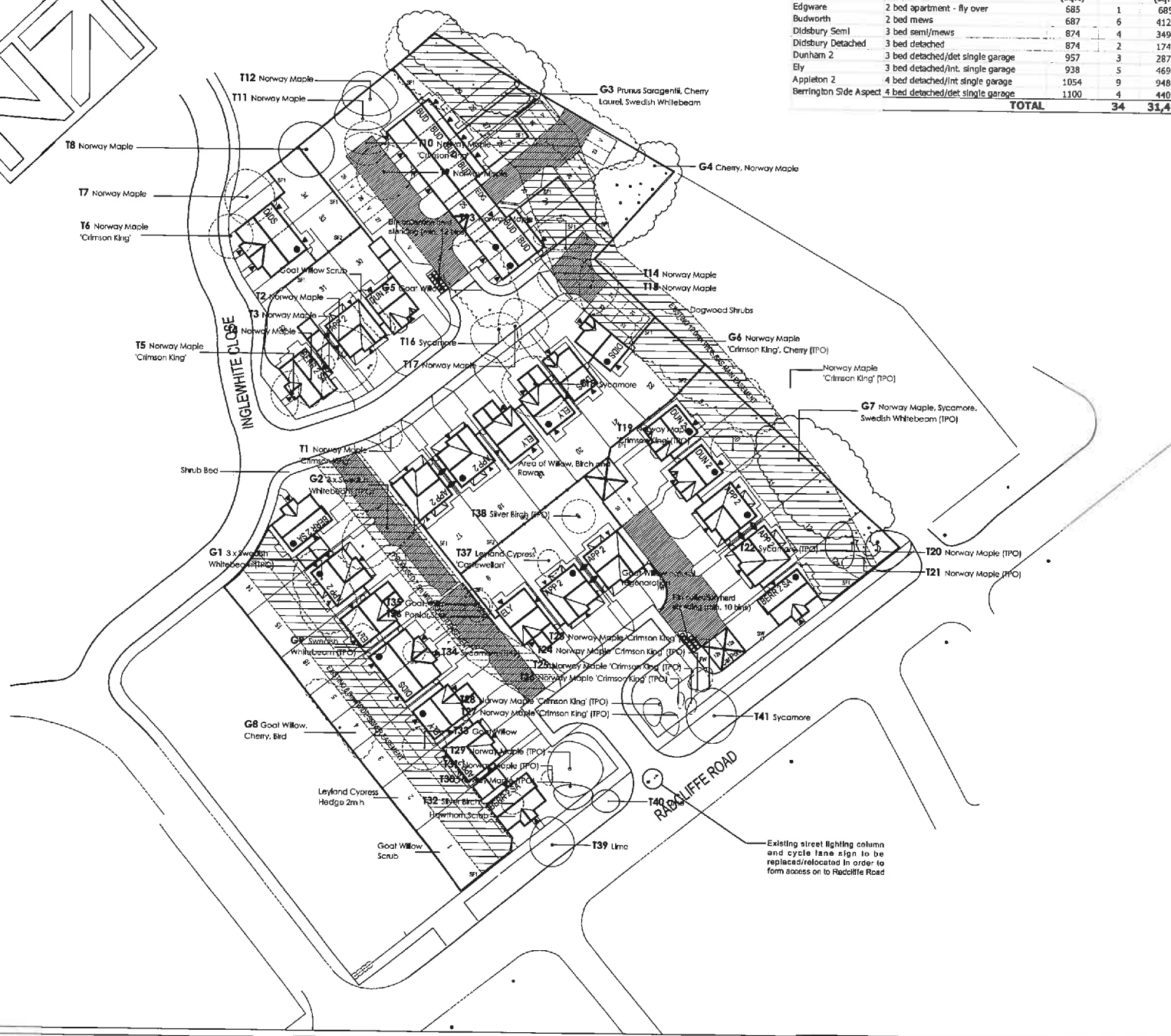
REV	DESCRIPTION	DATE	INT
B	Revised area increased to accommodate 2' increased site use property	26/07/14	SJM
A	LA Highway Officers comment (dated 21 October 2013) accepted.	20/10/13	SJM

Morris Homes (Group) Limited
 Morland House
 Altrincham Road
 Wilmslow
 Cheshire SK9 5NW
 Tel: (01625) 544 444
 Fax: (0845) 833 1845

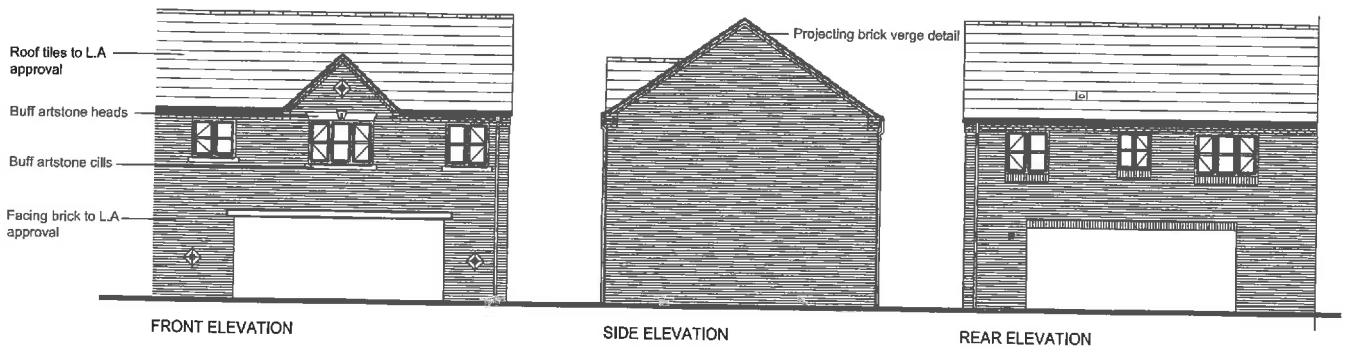
Job Title
RADCLIFFE ROAD, BURY.

Dwg. Title
PLANNING LAYOUT

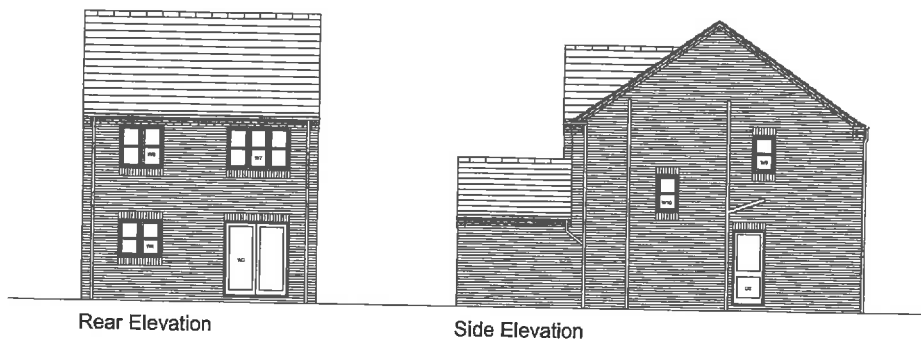
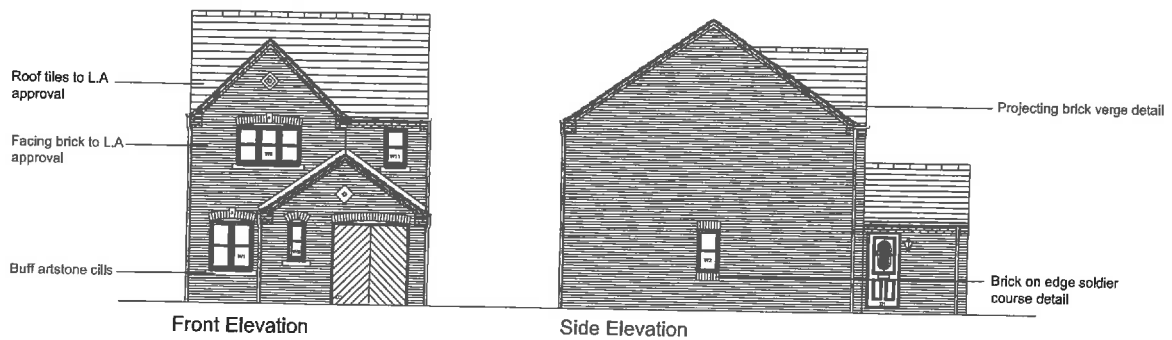
Date	Drawn	Checked	Scale	Dwg. No	Rev
20/08/13	SJM		1:500 @ A2	N912/P/PL01	B



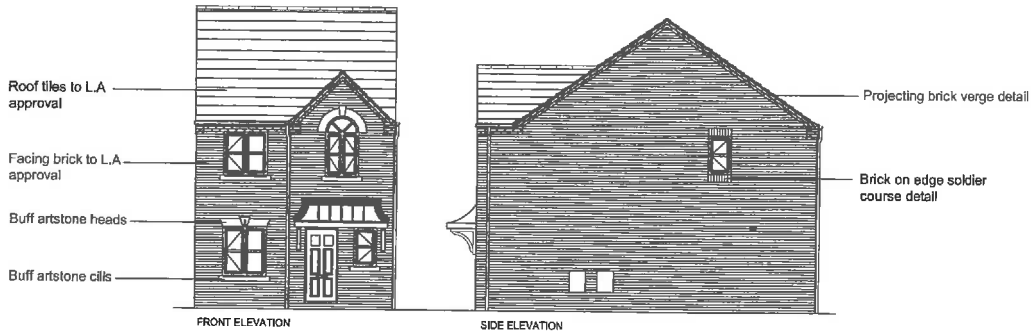
Existing street lighting column and cycle lane sign to be replaced/relocated in order to form access on to Radcliffe Road



REV	DESCRIPTION	DATE	BY
 Morris Homes (Group) Limited Morland House Alfreton Road Walsby Chester SK9 5NW Tel: (01825) 544 444 Fax: (0945) 833 1845			
Job No RADCLIFFE ROAD, BURY			
Day No EDGWARE HOUSE TYPE ELEVATIONS			
Rev	Issue	Revised	Scale
1/01/212	SJM		1:100 @ A3 NB12/PHTEDG.01



REV	DESCRIPTION	DATE	BY
 Morris Homes (Group) Limited Morland House Alfreton Road Walsby Chester SK9 5NW Tel: (01825) 544 444 Fax: (0945) 833 1845			
Job No RADCLIFFE ROAD, BURY			
Day No ELY HOUSE TYPE ELEVATIONS			
Rev	Issue	Revised	Scale
1/01/212	SJM		1:100 @ A3 NB12/PANTELY.01



FRONT ELEVATION

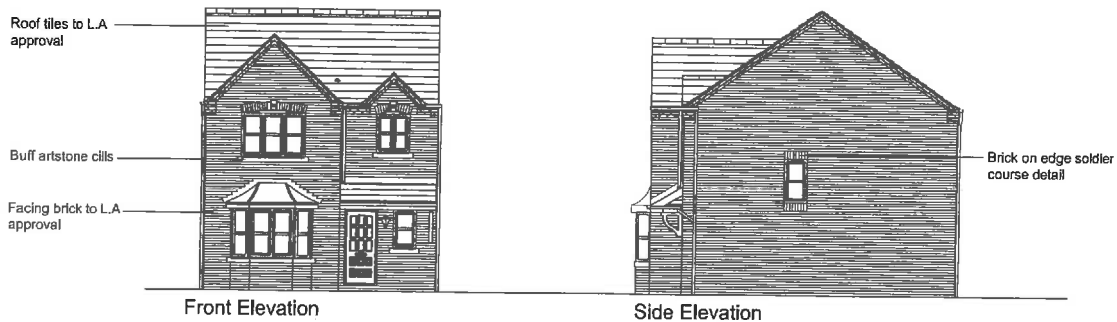
SIDE ELEVATION



REAR ELEVATION

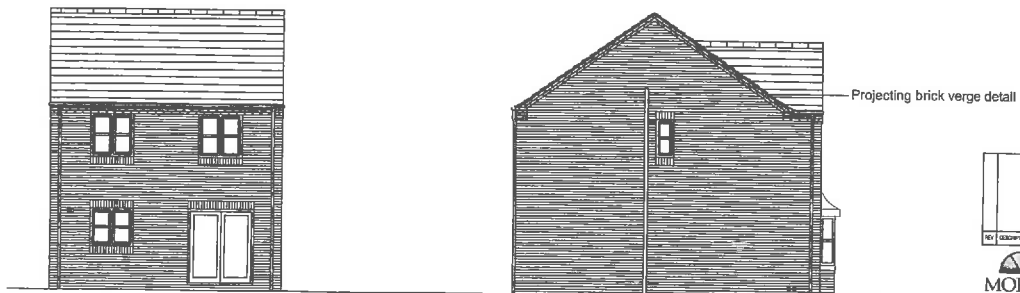
SIDE ELEVATION

REV	DESCRIPTION	DATE	BY
Morris Homes (Group) Limited Morland House Alfreton Road Wiltshire Chippenham SN15 6HW Tel: (01625) 544 444 Fax: (0845) 833 1845			
Job No RADCLIFFE ROAD, BURY			
Orig No DIDSBURY HOUSE TYPE ELEVATIONS			
Rev	Date	Drawn	Scale
10/12/12	SJM	1:100 @ A3	NS12/PWT/DID01



Front Elevation

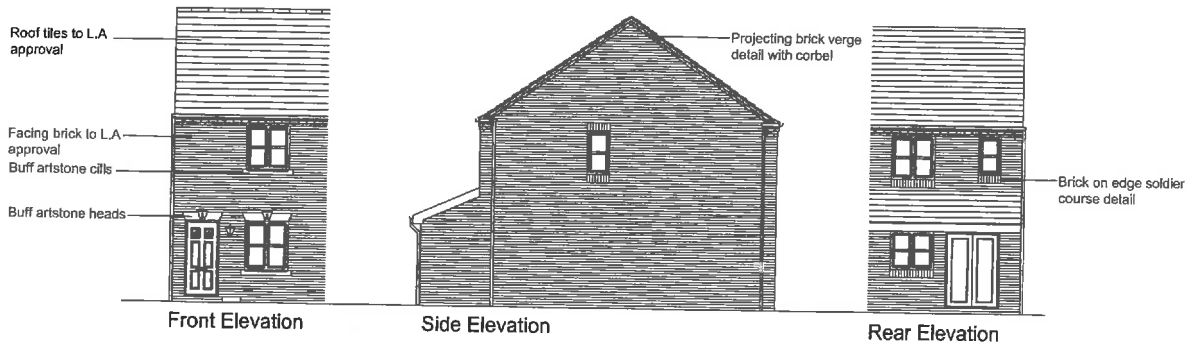
Side Elevation



Rear Elevation

Side Elevation

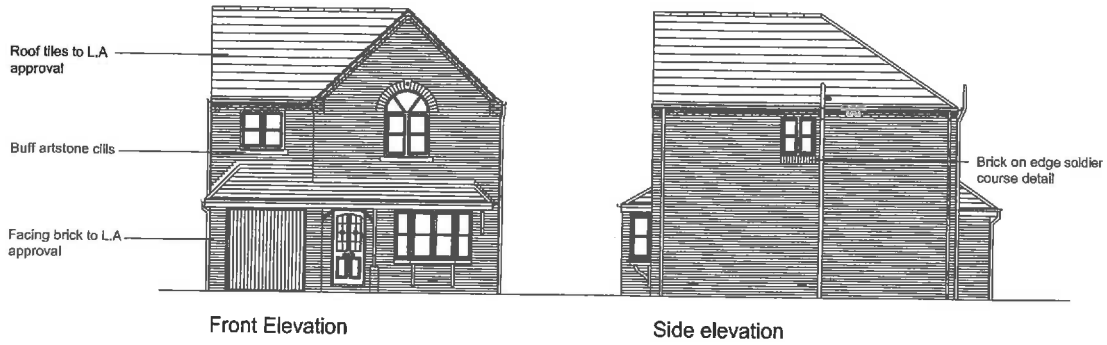
REV	DESCRIPTION	DATE	BY
Morris Homes (Group) Limited Morland House Alfreton Road Wiltshire Chippenham SN15 6HW Tel: (01625) 544 444 Fax: (0845) 833 1845			
Job No RADCLIFFE ROAD, BURY			
Orig No DUNHAM 2 HOUSE TYPE ELEVATIONS			
Rev	Date	Drawn	Scale
10/12/12	SJM	1:100 @ A3	NS12/PWT/DUN01



REV	DESCRIPTION	DATE	BY
Morris Homes (Group) Limited Morfco of Walsall Alfreton Road Walsall Cheshire SK9 5NW Tel: (01825) 544 444 Fax: (0845) 833 1845			
Job No RADCLIFFE ROAD, BURY			
Draw No BUDWORTH HOUSE TYPE ELEVATIONS			
REV	DATE	BY	APP'D
1/01/2012	SJM	1/10/09 AJ	NR12/PY/HTS/01

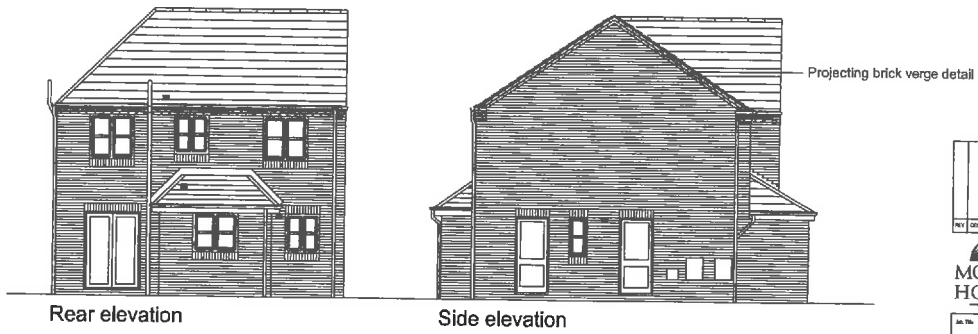


REV	DESCRIPTION	DATE	BY
Morris Homes (Group) Limited Morfco of Walsall Alfreton Road Walsall Cheshire SK9 5NW Tel: (01825) 544 444 Fax: (0845) 833 1845			
Job No RADCLIFFE ROAD, BURY			
Draw No DIDSBURY SEMI HOUSE TYPE ELEVATIONS			
REV	DATE	BY	APP'D
1/01/2012	SJM	1/10/09 AJ	NR12/PY/HTD/01




Front Elevation

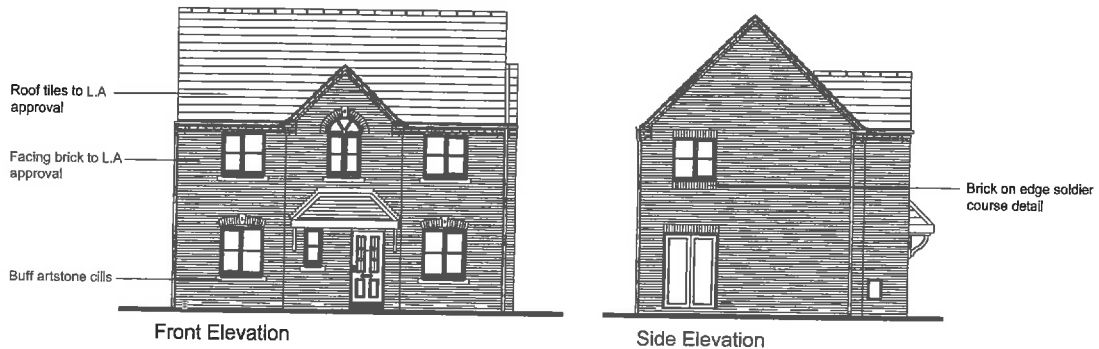
Side elevation



Rear elevation

Side elevation

REV	DESCRIPTION	DATE	BY
 Morris Homes (Group) Limited Morland House Albricham Road Wiltshire Chesterton SK9 6NW Tel: (01525) 544 444 Fax: (0645) 833 1845			
ALL TO: RADCLIFFE ROAD, BURY			
Proj No: APPLETON 2 HOUSE TYPE ELEVATIONS			
REV	DATE	BY	APP
10/12/12	5.30	1:100 @ A3	NS12/PT/HTAPP201




Front Elevation

Side Elevation



Rear Elevation

Side Elevation

REV	DESCRIPTION	DATE	BY
 Morris Homes (Group) Limited Morland House Albricham Road Wiltshire Chesterton SK9 6NW Tel: (01525) 544 444 Fax: (0645) 833 1845			
ALL TO: RADCLIFFE ROAD, BURY			
Proj No: BERRINGTON 2 SA HOUSE TYPE ELEVATIONS			
REV	DATE	BY	APP
10/12/12	5.30	1:100 @ A3	NS12/PT/HTBER001

Ward: Prestwich - Holyrood

Item 02

Applicant: Watson Construction Ltd

Location: Land between Kenyon Lane and Henry Street, Prestwich, Manchester, M25 1HY

Proposal: Erection of 6 no. dwellings

Application Ref: 57379/Full

Target Date: 24/06/2014

Recommendation: Minded to Approve

It is recommended that this application is Minded to Approve subject to the signing and completion of a Section 106 agreement for recreation provision in accordance with Policy RT2/2 of the adopted Unitary Development Plan and SPD1. Should the agreement not be signed and completed within a reasonable period, it is requested that the application be determined by the Development Manager.

Description

The site is a piece of land currently accommodating a vacant single storey commercial building. The site is bounded on all sides by residential properties. The houses on Bailey Street to the west are separated by their rear boundary walls and an intervening alley access which is gated at the Kenyon Lane end. To the east are properties on Kings Close with a rear boundary timber waneyp fence adjacent to the site. To the south is Kenyon Lane, an access alleyway which serves the rear of the terrace houses on Robert Street. Directly opposite are houses on Henry Street and Hampden Road. There is an electricity sub station directly adjacent to the boundary of the north west corner of the site.

The site has become overgrown with vegetation and left derelict, with the commercial building falling into a state of repair.

The proposal is to demolish the building and redevelop the site for a row of 4 two bedroomed terrace houses and a pair of three bedroomed semi detached houses. They would be modest in design, brick built with tiled roofs and incorporate canopied front entrances and rear patio doors.

The terrace properties would be positioned towards the southern part of the site, facing north and inwards towards the centre of the site with the private garden areas at the rear and a gated pedestrian access from each property leading out onto Kenyon Lane. There would be 5 in-curtilage parking spaces at the front.

The semi detached properties would be positioned in the northern area of the site and front onto Henry Street. There would be a small lawned area at the front with gardens and parking for 4 cars at the rear.

Access would be provided off Henry Street to the east of the site and would lead into the centre of the site separating the 2 housing elements. A 1.8m high timber fence is proposed along the west and southern boundaries with the fencing retained to the east.

Relevant Planning History

None relevant

Publicity

44 letters sent on 1/5/2014 to residents at 2-6 (evens) Hampden Road; 42-66 (Bailey Street); 16-24 (evens) Henry Street; 2-18 (evens) Robert Street; 25-36 Kings Road. 8 letters received from Nos 38 Hastings Road, 12, 14 Robert Street, 27, 36 Kings Close, 54, 62 Bailey Street, 22, 24 Henry Street which raises the following issues, comments and items which need addressing:

- What improvements will be made to the already worn out carriageway from the proposed new development along Hastings Road to Orange Hill Road? As this will deteriorate further during the development and increased residential traffic which the development will create.
- Who will maintain the proposed new fence at the rear of 48 to 66 Bailey Street, and will the alleyway be left in a clean and tidy condition, as it also deteriorated during the removal of the trees and Japanese Knotweed from the proposed development.
- What action is being taken to remove the roots etc of the Japanese Knotweed which has plagued the electricity sub station site, site itself including the rear of 48 to 66 Bailey Street for many years so that it does not become a problem in the future.
- Finally another question which has been raised is can the proposed development company give assurances that they will be able to complete this project and have adequate funding etc in place, due to other project problems encountered and reported in the press;
- Concerned the development may block and restrict sunlight to existing properties;
- Concerned about the close proximity of the housing resulting in a view being an unattractive brick wall, which will also deprive garden of sunlight. May negatively affect the value of our homes;
- Concerned access will be impeded whilst the development is underway;
- Concerned the development company is a reincarnation of a company no longer trading;
- Consider the boundary fencing as not suitable;
- There may be a valid challenge to questions 14,15 and 24 of the planning application regarding contamination, trees on site and whether the site can be seen from a public road;
- Seek reassurance regarding privacy and being overlooked from upper/rear windows, and that the development would not prejudice the success of any future applications for the existing dwellings on Robert Street;
- Overall if done well, it should be an improvement.
- Contacted Electricity North West concerning the Japanese Knot Weed on their Henry Street Substation and the Japanese knotweed was cut down and disposed and treated.

Letter received from Councillor Pickstone raising 2 issues:

- The site adjoins very closely to two existing residential areas, a gated back alley along the back of Bailey Street, and onto the back gardens of properties which are on Kings Close. Ask officers to seek assurance that there are measures in the plans in place to ensure good fencing between new site and the existing residential properties to both maintain security and privacy;
- Understand there are issues with Japanese knotweed, as I understand extending to not only the site, but some neighbouring properties and also the Electricity Sub-Station. I know this has been an ongoing issue and would ask that the developers are asked to work with the appropriate neighbours and agencies to address this during the construction phase.

Residents were notified by letter on 28/5/2014 of revised plans concerning the parking layout and on 10/6/2014 of the Japanese knotweed survey submitted by the applicant on 10/6/2014.

A letter in response to this has been received from No 38 Hastings Road with the following issues:

- In section 3.3 of the report, it should be stated that Knotweed is emerging at No 60 Bailey Street and NOT the rear access ginnel to a terrace house on Kenyon Lane;
- Correct paper work is required that Japanese knotweed has been cut down as reported to the Council in 2013;
- The off site location JK2 is being dealt with by the electricity company;
- There is a problem with knotweed spreading from the site into the alley at the rear of No 56-62 Bailey Street and is already at the rear garden of No 60 Bailey Street which needs to be dealt with;

- Section 5 - Limitations and Threats to the Site Management Objectives must be fully adhered to;
- There is a need for a full survey and detailed plan of how the matter is to be resolved.

Respondents have been informed of the Planning Control Committee meeting.

Consultations

Traffic Section - No objection subject to conditions.

Drainage Section - No response received. Conditions regarding drainage have been recommended by UU.

Environmental Health Contaminated Land - No objection subject to conditions.

Environmental Health Pollution Control - No response received.

Greater Manchester Police - designforsecurity - Recommend secure by design build.

United Utilities (Water and Waste) - No objection subject to conditions.

GMEU - No objection subject to a condition to restrict the time of the removal of vegetation and submission of an ecological mitigation plan, and a condition to agree details of the remediation of Japanese knotweed.

Electricity North West - No response received to date.

Unitary Development Plan and Policies

NPPF	National Planning Policy Framework
H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
HT2/4	Car Parking and New Development
EN1/2	Townscape and Built Design
EN6	Conservation of the Natural Environment
SPD1	Open Space, Sport and Recreation Provision
RT2/2	Recreation Provision in New Housing Development
EN8/2	Woodland and Tree Planting
EN7/5	Waste Water Management
EN1/5	Crime Prevention
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - Following revocation of the North West Regional Spatial Strategy on 20 May 2013, there is no statutory housing target for Bury. Work is in progress on Bury's Local Plan - "The Core Strategy", which will bring forward a new statutory housing target. It is currently proposed that the new housing target in the Local Plan should be set at 400 dwellings per annum, which is currently timetabled to be adopted in 2014.

In the meantime, the National Planning Policy Framework should be treated as a material planning consideration and it emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and long term. There is a particular emphasis, as in previous national planning guidance, to identify a rolling five year supply of deliverable housing land.

UDP Policy H1/2 states that the Council will have regard to various factors when assessing

a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

UDP Policies H2/1 - The Form of New Residential Development and H2/2 - The Layout of New Residential Development takes into consideration factors relating to the height and roof type of adjacent buildings, the impact of developments on residential amenity, the density and character of the surrounding area and the position and proximity of neighbouring properties. Regard is also given to parking provision and access, landscaping and protection of trees/hedgerows and external areas.

Supplementary Planning Document 6 - Alterations and Extensions to Residential Properties provides useful guidance in terms of acceptable aspect standards between dwellings and design criteria.

The proposed development would utilise a derelict site and would be located within an established residential urban area. There is existing infrastructure in place to support the scale of the development with access to be taken directly from a public highway, and as such the principle is in general accordance with national and regional planning policy and will help to contribute to meeting local housing targets. The site was assessed in conjunction with the Employment Land Review which concluded it to be unsuitable, in land use terms for continued employment use. The proposal would redevelop a disused and vacant site and its redevelopment would bring benefits to the area. Consequently, there is no issue with the principle of residential development on this site.

As such, the proposal complies with the NPPF and UDP Policies H1/2 - Further Housing Development

Layout - The site is rectangular in shape and the relationship and proximity of the surrounding properties and constraints of access has dictated the layout of the development.

Accordingly, the 4 proposed terrace properties would run in an east to west direction with private gardens and bin store areas at the rear enclosed by a 1.8m boundary fence to Kenyon Lane. There would be in curtilage parking at the front for 5 cars split between the 4 properties. Whilst it is more usual to encourage new development to form a frontage to a street, Kenyon Lane is a narrow unmade alley which essentially only serves as an access and bin storage for refuse collection purposes to the houses on Robert Street. The southern part of the site is well enclosed by the surrounding properties and not visible from public views and as such, the orientation of the 4 dwellings would sit appropriately within the site.

The pair of semis would be located at the 'top' of the site and would face onto Henry Street. There would be a small front garden to define their curtilage with private garden and parking for 4 cars at the rear with bin storage down each side elevation.

Access into the site would be from Henry Street between the gable of plot 2 and the eastern boundary with the houses on Kings Close. This would lead to the parking and a turning area for the houses.

The layout of the scheme has been designed to work within the physical constraints of the site and maximised the available use of land to provide suitably sized accommodation and amenity areas which would also be in keeping with the character of the surrounding area.

As such, the proposed layout is considered to be acceptable and would comply with UDP policies H2/1 - The Form of Residential Development and H2/2 - The Layout of New Residential Development.

Design and appearance - The dwellings surrounding the site generally comprise brick built

traditional terrace properties, with the more modern additions houses on Kings Close to the east also of a terrace/mews appearance. The proposed houses would be relatively modest in design and reflect the local residential character in terms of appearance and style, and being constructed of facing brick and tiled roofs, would maintain the integral character of the area. A condition to submit samples for approval would be included as part of any approval.

As such, the design and appearance are considered to be appropriate to the area and this small scale development and would comply with EN1/2 - Townscape and Built Design and H2/1 - The Form of New Residential Development.

Impact upon residential amenity - SPD 6 advises that a distance of 20m be maintained between habitable room windows and 13m between a ground floor habitable room window and a 2 storey blank gable.

The site is surrounded by residential properties and regard should be had to the relationship of the proposed development on these properties.

The orientation of the properties is such that a separation distance of 13m would be required to houses on Kings Close and Bailey Street, and this is generally achieved. There are a couple of pinch points where this would drop to 12.5m from Nos 27 and 28 Kings Close. The new properties would be no closer to these houses than the existing building and there is also an intervening existing fence which would screen ground floor windows. As such, these separation distances are considered to be acceptable.

There would be a separation distance of more than 20m between the proposed dwellings and the rear elevations of the houses on Robert Street.

The site does not include the access which runs between the development and the houses on Bailey Street and a new 1.8m high fence would be erected along this boundary. The electricity sub station would also not be affected by the development and access to this would remain as existing.

As such, it is considered that the proposals would not have an adverse impact on the amenity of nearby residents and would comply with UDP Policies H2/1, H2/2 and SPD6.

Parking and access - The development proposes 9 spaces in total, 5 for the terraces and 4 for the pair of semis, all allocated within the curtilage of the site. This falls just one short of the requirements of SPD11. As the development would provide almost 100% provision, that all parking would be in curtilage within the site, together with unrestricted parking on the surrounding streets, it is considered there is ample parking for the proposed scheme.

Access would be taken off Henry Street into the centre of the site and would provide adequate turning area which would dispel any manoeuvring on the street.

There has been no objection from the Traffic section subject to conditions, and as such the access and parking provisions are considered to be acceptable.

Bin storage - Bins for the 4 terraces would be stored at the rear and taken out via a gate onto a widened pavement on Kenyon Lane on bin collection days, similar to those houses on Robert Street. For the semis, the arrangements would be for collection at the front on Henry Street.

The waste management team are satisfied with this proposal and as such would comply with H2/2 - The Layout of New Residential Properties.

Ecology - A bat survey has been submitted which has assessed the existing building as low risk and therefore no further information on bats is required.

There are some trees which would be lost as a result of the development, none of which are

TPO's, and appear to be self seeded offering little visual amenity to the area. GMEU have recommended a condition that an ecological mitigation plan be submitted to include elements to mitigate for the loss of trees and bird nesting habitat, as well as restricting the time when the vegetation can be removed from the site.

Japanese Knotweed - A number of local residents have raised concern about the presence of Japanese knotweed on the site. A Japanese knotweed survey and remediation report was since been undertaken and submitted. The survey identifies 3 areas within the application site which are affected by Japanese knotweed. The report recommends that the knotweed is instantly eradicated and offers several alternative methods of control. The options are dig and sift, cell burial, dig and relocation, root barrier control, and herbicide treatment programme.

GMEU have been consulted on the survey and report and are satisfied with the suggested options to remediate the site. A condition is recommended that details of the option to be employed for the management and/or removal of the knotweed, is submitted to the LPA for approval, prior to the commencement of the development.

Planning Obligations - For the purposes of this application, SPD1 adopted in February 2012 is relevant. The scale of proposals requires a recreation contribution of £17,965.70 towards recreation provision, which the applicant has agreed to and will be secured through a S106 agreement.

Response to objectors -

- In terms of the surrounding roads and approach, there are a number of directions the site could be accessed and it is considered the density of the development would not generate significantly more traffic than existing.
- The new fence on the western boundary of the site would be the responsibility of the landowner/developer and the proposed waney lap timber fence is considered to be appropriate for a residential development which would offer adequate privacy to adjacent occupiers.
- The issues of residential amenity, proximity and separation distances and responsibility of the adjacent alleyway has been covered in the above report.
- Whilst the construction should not interfere with access to nearby properties, this would be a matter for Environmental Health of the Highways Authority to enforce.
- The issue of Japanese knotweed has been covered in the above report and would be dealt with by condition.
- With regards to questions 14, 15 and 24 of the planning form, contamination issues and replacement tree planting would be dealt with by condition. The site is visible from the public highways and the issues of its access and relationship to the surroundings has been dealt with in the above report.
- The integrity of the development company is not a material planning issue.

Statement in accordance with Article 31 Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2012

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Minded to Approve

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.

Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.

2. This decision relates to drawings numbered Existing and proposed site plans KL/1 Rev J; Floor plans and elevations KL/S/2 Rev H; Geoenvironmental Site Investigation Report Phase 1 Preliminary Risk Assessment December 2013; Bat survey by Tyrer partnership issued 14th April 2014; Japanese knotweed survey and remediation report project JKLE14683 dated 09.06.2014 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. No development shall commence unless and until:-
 - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
 - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
 - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.Reason. To secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
4. Following the provisions of Condition 3 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.
Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
5. Any soil or soil forming materials brought to site for use in garden areas, soft landscaping, filling and level raising shall be tested for contamination and suitability for use on site. Proposals for contamination testing including testing schedules, sampling frequencies and allowable contaminant concentrations (as determined by appropriate risk assessment) and source material information shall be submitted to and approved in writing by the Local Planning Authority prior to any soil or soil forming materials being brought onto site, and;
The approved contamination testing shall then be carried out and validatory evidence (soil descriptions, laboratory certificates, photographs etc) submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.
Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
6. All instances of contamination encountered during the development works which do not form part of an approved Remediation Strategy shall be reported to the Local Planning Authority (LPA) immediately and the following shall be carried out where appropriate:

- Any further investigation, risk assessment, remedial and / or protective works shall be carried out to agreed timescales and be approved by the LPA in writing;
- A Site Verification Report detailing the conclusions and actions taken at each stage of the works including validation works shall be submitted to, and approved in writing by, the LPA prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

7. The development hereby approved shall not be first occupied unless and until the access alterations on Henry Street and Kenyon Lane, as indicated on approved plan reference KL/1 Revision J incorporating:
- the creation of a new shared footway crossing on Henry Street constructed to an approved specification;
 - reinstatement of the redundant site access on Henry Street to adjacent footway levels and all associated remedial works along the northerly site boundary;
 - widening of the footway on Kenyon Lane to accommodate bins on refuse collection day and all associated remedial works along the southern site boundary,

have been implemented in full and made available for use.

Reason. To ensure good highway design and to maintain the integrity of the adopted highway pursuant to Bury Unitary Development Plan Policies HT4 - New Development and HT6/2 - Pedestrian/Vehicular Conflict.

8. The visibility splays indicated on approved plan reference KL/1 Revision J shall be implemented to the written satisfaction of the Local Planning Authority before the site access is brought into use or dwellings hereby approved are first occupied and subsequently maintained free of obstruction above the height of 0.6m.

Reason. To ensure the intervisibility of the users of the site and the adjacent highways in the interests of road safety pursuant to Bury Unitary Development Plan Policies HT4 - New Development and HT6/2 - Pedestrian/Vehicular Conflict.

9. The turning facilities indicated on the approved plans shall be provided before the dwellings hereby approved are first occupied shall subsequently be maintained free of obstruction at all times.

Reason. To minimise the standing and turning movements of vehicles on the highway in the interests of road safety during construction of the development and thereafter pursuant to Bury Unitary Development Plan Policies HT4 - New Development and HT6/2 - Pedestrian/Vehicular Conflict.

10. The car parking indicated on the approved plans shall be surfaced, demarcated and made available for use before any occupation of the dwellings hereby approved and thereafter maintained.

Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.

11. Details/Samples of the (materials/bricks/roof tiles) to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials/bricks/tiles shall be used for the construction of the development.

Reason. In the interests of visual amenity and to ensure a satisfactory

development pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.

12. No development shall commence unless and until details of the foul drainage system has been submitted to and approved in writing by the Local Planning Authority. The approved scheme only shall be implemented prior to the first occupation of the development hereby approved and thereafter maintained and managed in accordance with the approved details.
Reason. To reduce the risk of flooding and ensure the satisfactory treatment of surface water drainage pursuant to Chapter 10 of the National Planning Policy Framework - Meeting the Challenge of Climate Change, Flooding and Coastal Change and Unitary Development Plan Policy EN5/1 - New Development and Flood Risk.
13. No development shall commence unless and until a surface water drainage scheme and means of disposal, based on sustainable drainage principles with evidence of an assessment of the site conditions (inclusive of how the scheme shall be managed after completion) shall be submitted to and approved in writing by the Local planning Authority. The surface water scheme must be restricted to existing runoff rates and no surface water shall discharge to the public sewerage system either directly or indirectly. The approved scheme only shall be implemented prior to the first occupation of the development hereby approved and thereafter maintained and managed in accordance with the approved details.
Reason. To reduce the risk of flooding and ensure the satisfactory treatment of surface water drainage pursuant to Chapter 10 of the National Planning Policy Framework - Meeting the Challenge of Climate Change, Flooding and Coastal Change and Unitary Development Plan Policy EN5/1 - New Development and Flood Risk.
14. No development shall commence unless and until an ecological mitigation plan has been submitted to and approved by the Local Planning Authority. The content of the plan should include elements to mitigate for loss of tree shrubs and bird nesting habitat. The approved plan only shall be implemented in accordance with the approved details.
Reason. In order to preserve the natural environment pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
15. No trees or shrubs shall be removed between 1st March and 31st August inclusive in any year unless a detailed bird nest survey by a suitably experienced ecologist has been carried out immediately prior to clearance and written confirmation provided that no bird nests are present which has been approved by the Local planning Authority.
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
16. No development shall commence unless and until details of the methods to be employed to eradicate the Japanese knotweed on site as recommended in the Japanese knotweed survey and Remediation Strategy Report JKLE14683 dated 09.06.2014 have been agreed and approved by the Local Planning Authority. The approved details only shall be implemented.
Reason. To ensure that the site is free from Himalayan Balsam in the interest of UDP Policy EN9 - Landscape.
17. Notwithstanding the terms of the Town and Country Planning (General Permitted Development) Order 1995, as subsequently amended, no development shall be

carried out within the terms of Classes A, B, C and E of Part 1 of Schedule 2 of the Order, without the prior written consent of the Local Planning Authority.

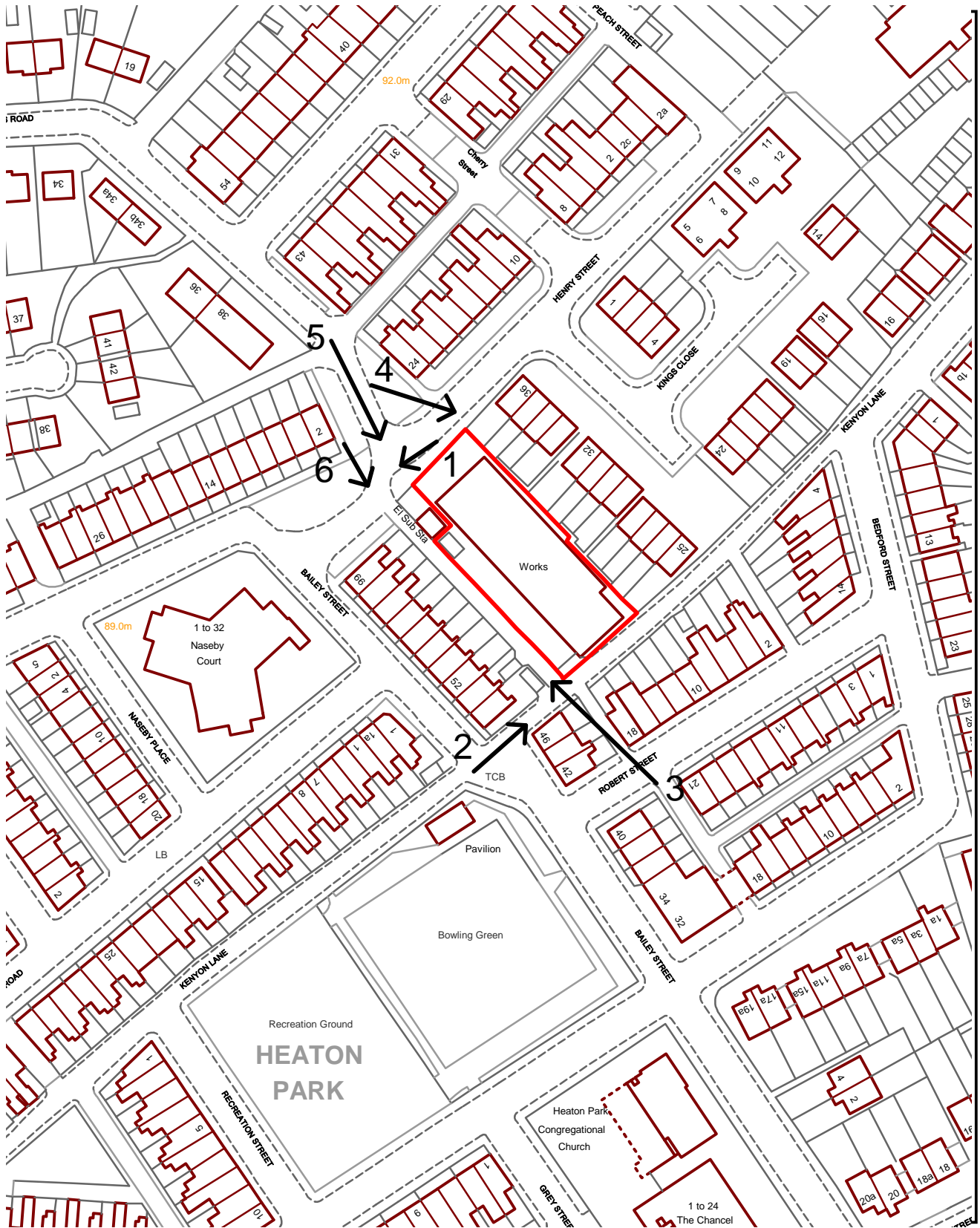
Reason. To ensure that future inappropriate alterations or extensions do not occur pursuant to policies of the Unitary Development Plan listed.

18. The 1.8m high boundary fencing to the south western boundary of the site shall be erected prior to the first occupation of the dwellings hereby approved.

Reason. In the interests of residential amenity and security pursuant to Bury Unitary Development Plan Policy H2/2 - The layout of New Residential Development.

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 57379

**ADDRESS: Land between Kenyon Lane and Henry Street
Prestwich**



Planning, Environmental and Regulatory Services 1:1250

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57379

Photo 1



Photo 2



57379

Photo 3



Photo 4



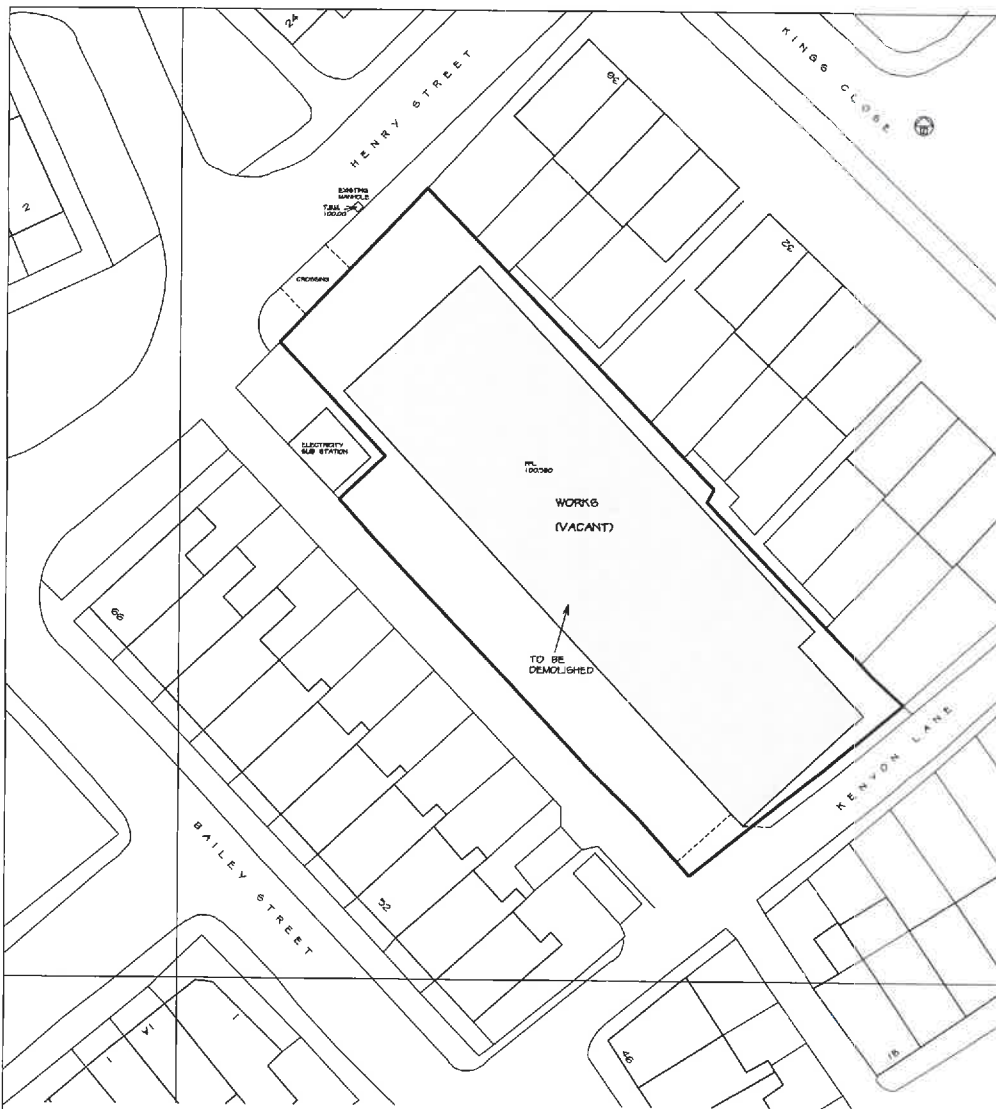
57379

Photo 5

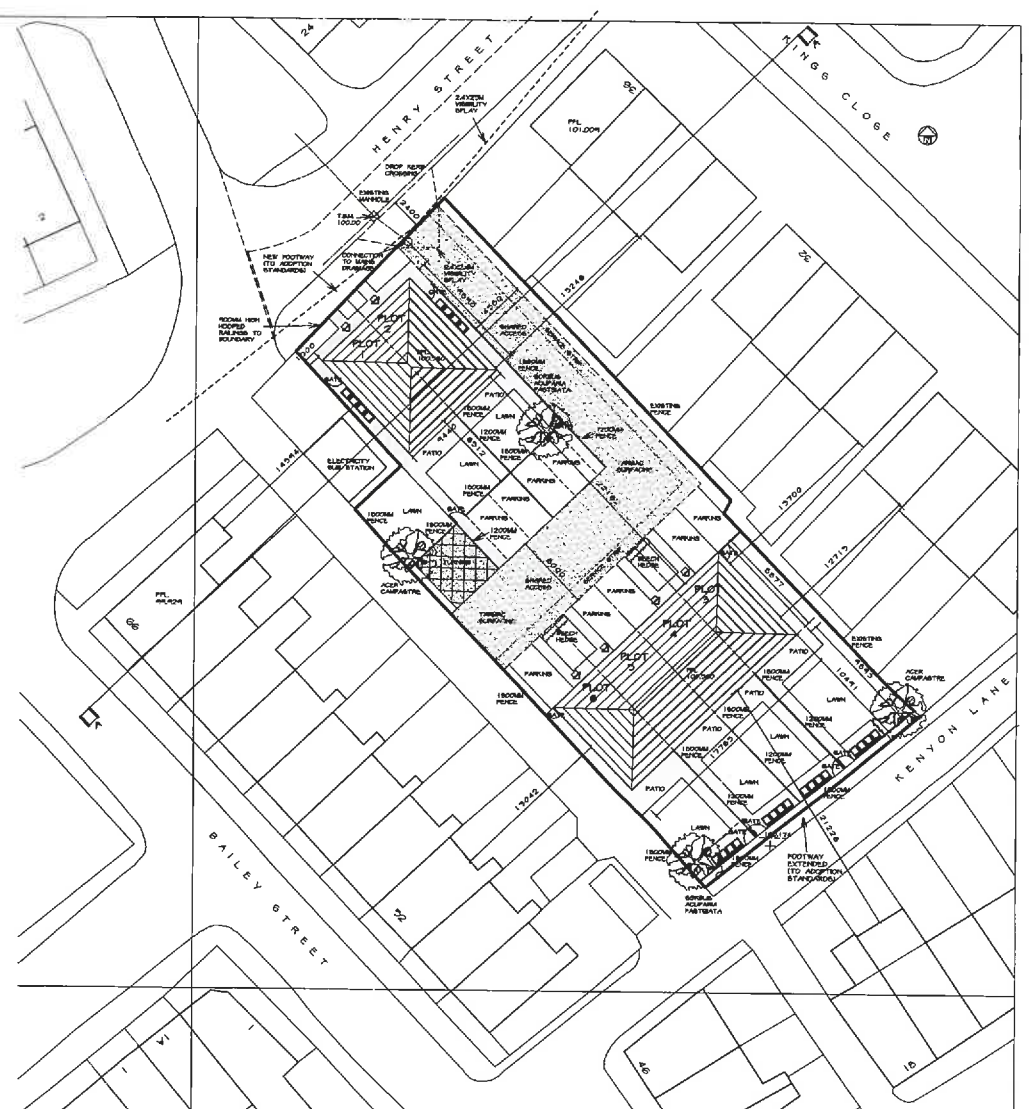


Photo 6

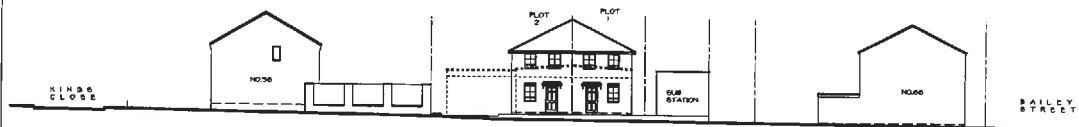




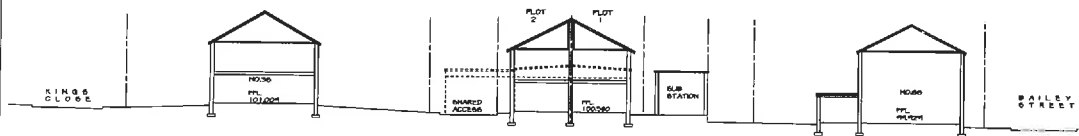
EXISTING SITE PLAN 1:200



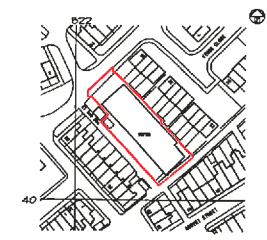
PROPOSED SITE PLAN 1:200



STREETSCAPE ALONG HENRY STREET 1:200



SECTION A - A 1:200



LOCATION PLAN 1:1250

- NOTES
- EXTERNAL SURFACING
TARMACADAM SURFACING TO SHARED ACCESS, TURNING AND PARKING SPACES, PRECAST CONCRETE PAVING TO PATIOS AND PATHS DRAINING TO SOFT LANDSCAPED AREAS.
 - BOUNDARY FENCES AND RAILINGS
900MM, 1200MM AND 1800MM HIGH CONCRETE POST AND BOTTOM PANEL FENCES WITH TREATED TIMBER WANEY LAP INFILL PANELS, 900MM HIGH METAL HOOPED RAILINGS PAINTED BLACK.
 - HIGHWAYS
HENRY STREET AND KENYON LANE FOOTWAY ALTERATIONS AND DROP KERB CROSSINGS TO BE CARRIED OUT TO ADOPTION STANDARDS. NO WALLS, FENCES, GATES, PLANTING ETC WITHIN VISIBILITY TRIANGLES TO BE MORE THAN 600MM HIGH.
 - DRAINAGE
CONNECTION TO EXISTING MAINS DRAINAGE WITHIN THE SITE.

Telephone 0161 643 2422

Northside Plans Ltd

Planning and Building Design

116 Simister Lane Prestwich Manchester M25 2SB

Project

RESIDENTIAL DEVELOPMENT
KENYON LANE/HENRY STREET
PRESTWICH

Title

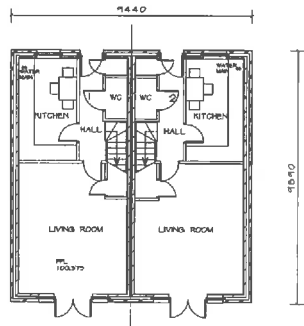
EXISTING AND PROPOSED SITE PLANS

Scale 1:100 1:200 (A1) Date 05/2014
Drawn by NGEL TAMB Dwg.no. KL/1 REV J

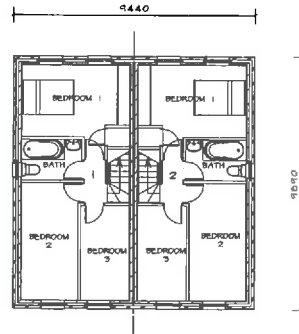


NOTES
 MATERIALS
 ROOFS - HARLEY MODERN SMOOTH GREY
 CONCRETE ROOF TILES
 EXTERNAL WALLS - WEINBERGER OLD
 ECCLESTONE BLEND ABOVE DPC
 CHESHIRE SMOOTH RED BELOW DPC AND/OR
 SOLDIER COURSES.

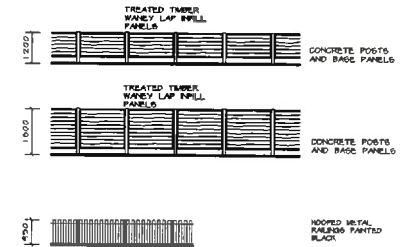
PLOTS 1 AND 2 - PROPOSED ELEVATIONS 1:100



PLOTS 1 AND 2 - PROPOSED GROUND FLOOR PLAN 1:100



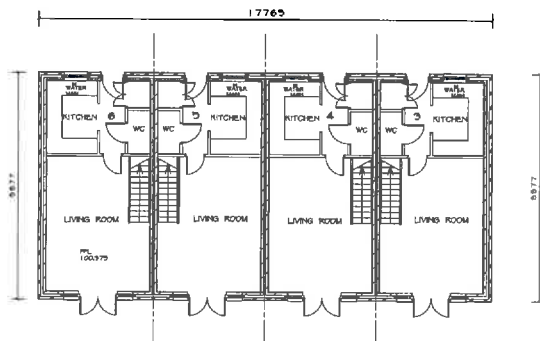
PLOTS 1 AND 2 - PROPOSED FIRST FLOOR PLANS 1:100



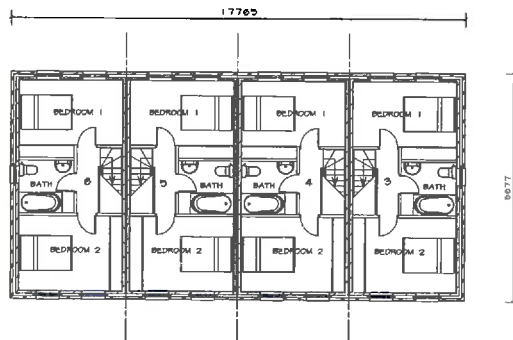
BOUNDARY FENCES - PROPOSED ELEVATIONS 1:100



PLOTS 3 TO 6 - PROPOSED ELEVATIONS 1:100



PLOTS 3 TO 6 - PROPOSED GROUND FLOOR PLANS 1:100



PLOTS 3 TO 6 - PROPOSED FIRST FLOOR PLANS 1:100



LOCATION PLAN 1:1200

Telephone 0161 643 2422

Northside Plans Ltd

Planning and Building Design

116 Simister Lane Prestwich Manchester M25 2SB

Project

RESIDENTIAL DEVELOPMENT
 KENYON LANE/HENRY STREET
 PRESTWICH

Title

FLOOR PLANS AND ELEVATIONS

Scale 1:100 (A1) Date 05/2014
 Drawn by NGEL TAMB Dwg.NO.KL/6/2 REV H

Ward: Ramsbottom and Tottington -
Ramsbottom

Item 03

Applicant: Mr Saleem

Location: 6-8 Market Place, Ramsbottom, Bury, BL0 9HT

Proposal: Change of use from shop (Class A1) to dental surgery (Class D1)

Application Ref: 57448/Full

Target Date: 04/07/2014

Recommendation: Approve with Conditions

Description

The property is a Grade II listed building, which is located within the main shopping area of Ramsbottom town centre and also a Conservation Area. The building is constructed in stone and slate and is the end terrace on the corner of Bridge Street, Carr Street and Market Place. There are three floors to the front and three and a half to the rear and it is built from stone and slate. Access at the rear is via Back Bridge Street and Killer Street.

There are commercial properties to all boundaries and an unmade car park at the rear.

The proposed development involves the change of use of a shop (Class A1) to a dentist (Class D1). There would be no external changes to the property and the existing entrance would be used. The reception, dental surgeries, waiting area and toilets would be on the ground floor and there would be a staff room, office and decontamination rooms on the lower ground floor.

Relevant Planning History

None relevant.

Publicity

16 neighbouring properties (2 - 4, 4, Killer Street; 49 - 59 (odds) Bridge Street ; 2, 4, 10A, 10 - 18 (evens) Market Place) were notified by means of a letter on 9 May and a press notice was published in the Bury Times on 22 May. Site notices were posted on 13 May 2014.

3 letters have been received from the occupiers of Ramsbottom Dental Surgery (72 Bridge Street), Crossmoor, Bolton Road North and Tottington Dental Surgery (5 Back Chapel Street), which have raised the following issues:

- The door is not level with the pavement or wide enough for wheelchair users.
- The decontamination rooms are in the basement, which would discriminate against staff, who are disabled.
- The nearest car park is some distance away, up a steep cobbled hill. There is no disabled parking bays nearby.
- Other premises have installed a separate disabled access.
- There is an over saturation of dental practices within the area.
- The size of the waiting area would not be adequate for 2 surgeries.
- The decontamination rooms would not have proper ventilation.
- How would contaminated waste be stored and collected as there are double yellow lines to the front.
- There is no provision for staff parking or cycle parking.

The objectors have been notified of the Planning Control Committee.

Consultations

Traffic Section - No objections.

Ancient Monuments Society - Comments awaited.

Council for British Archaeology - Comments awaited.

The Georgian Group - No objections.

Society for the Protection of Ancient Buildings - Comments awaited.

The 20th Century Society - Comments awaited.

The Victorian Society - Comments awaited.

Unitary Development Plan and Policies

EC4/1	Small Businesses
EN1/2	Townscape and Built Design
EN1/7	Throughroutes and Gateways
EN2/1	Character of Conservation Areas
EN2/2	Conservation Area Control
EN2/3	Listed Buildings
EN7	Pollution Control
EN7/2	Noise Pollution
S1/2	Shopping in Other Town Centres
S2/2	Prime Shopping Areas and Frontages
HT2/4	Car Parking and New Development
HT4	New Development
HT5/1	Access For Those with Special Needs
CF1/1	Location of New Community Facilities
CF4	Healthcare Facilities
Area	Bolton Street/Bridge Street
RM3	
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - Policy CF1/1 states that proposals for new and improved community facilities will be considered with regard to the following factors:

- impact upon residential amenity and the local environment
- traffic generation and car parking provision
- the scale and size of the development
- where applicable, access to shops and other services
- if the use is intended to serve a local community, the suitability of the location in relation to that community
- accessibility by public and private transport;
- the needs and requirements of the disabled.

Policy CF4 states that improvements to existing and proposals for new healthcare facilities will generally be looked on favourably by the Council.

The proposed development involves the change of use from a shop to a dentist (D1) and as such, would result in the loss of a shop. However, the proposed use would be open between 09.00 and 17.30 and would bring people into the town centre. The proposed dental surgery would serve the people of Ramsbottom and would be located within the town centre it is to serve. The issues of impact upon residential amenity, car parking provision, accessibility by public and private transport and the needs and requirements of the disabled will be considered later in the report. Therefore, the proposed development would not have a significantly adverse impact upon the viability and vitality of the town centre and would be

in accordance with Policies CF1/1 and CF4 of the Bury Unitary Development Plan.

Design and layout - The building is Grade II listed and is located within a conservation area. The proposed development would utilise the existing entrance and as such, there would be no external works to the Grade II listed building. Therefore, the proposed development would preserve the character of the listed building and the conservation area and would be in accordance with Policies EN2/1, EN2/2 and EN2/3 of the Bury Unitary Development Plan.

The DDA makes allowances for buildings of historic importance in that they may not be able to comply with DDA in full. However, the onus is on the occupant to make provision for access for disabled people wherever possible.

All of the facilities which would be used by the general public (reception, waiting area, dental surgery, toilets and disabled toilet) would be located on the ground floor and would utilise the existing entrance. The existing entrance has a small step, but would be unchanged and as such, the ground floor would be fully accessible. The staff room, office, store and decontamination rooms would be located on the lower ground floor and it is envisaged that only staff would access this area. Therefore, the proposed development would be no worse than existing, which given the size of the step is accessible to the public and would be in accordance with Policy HT5/1 of the Bury Unitary Development Plan.

Noise- The proposed development is located within the town centre where there is a degree of activity at all times. The opening hours of the proposed development would be 09.00 to 17.30 from Monday to Friday. As such, the proposed development would not add significantly to the existing noise levels in the area and would not have a significant adverse impact upon amenity of the neighbouring properties. Therefore, the proposed development would be in accordance with Policy EN7/2 of the Bury Unitary Development Plan.

Highways issues - The existing retail unit uses public car parks within the town centre and is serviced from the rear on Back Bridge Street. The delivery requirements associated with the proposed development are likely to be less than retail demands and would be serviced from Back Bridge Street.

The proposed development would be no different. The Traffic Section has no objections to the proposal in terms of servicing or parking. Therefore, the proposed development would be acceptable and would not be detrimental to highway safety and would be in accordance with Policy HT2/4 of the Bury Unitary Development Plan.

Response to objectors

The issues relating to parking provision, servicing and disabled access have been addressed within the report above. The issue of an over-concentration of dental practices within Ramsbottom is not a material planning consideration and cannot be taken into account.

Statement in accordance with Article 31 Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2012

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

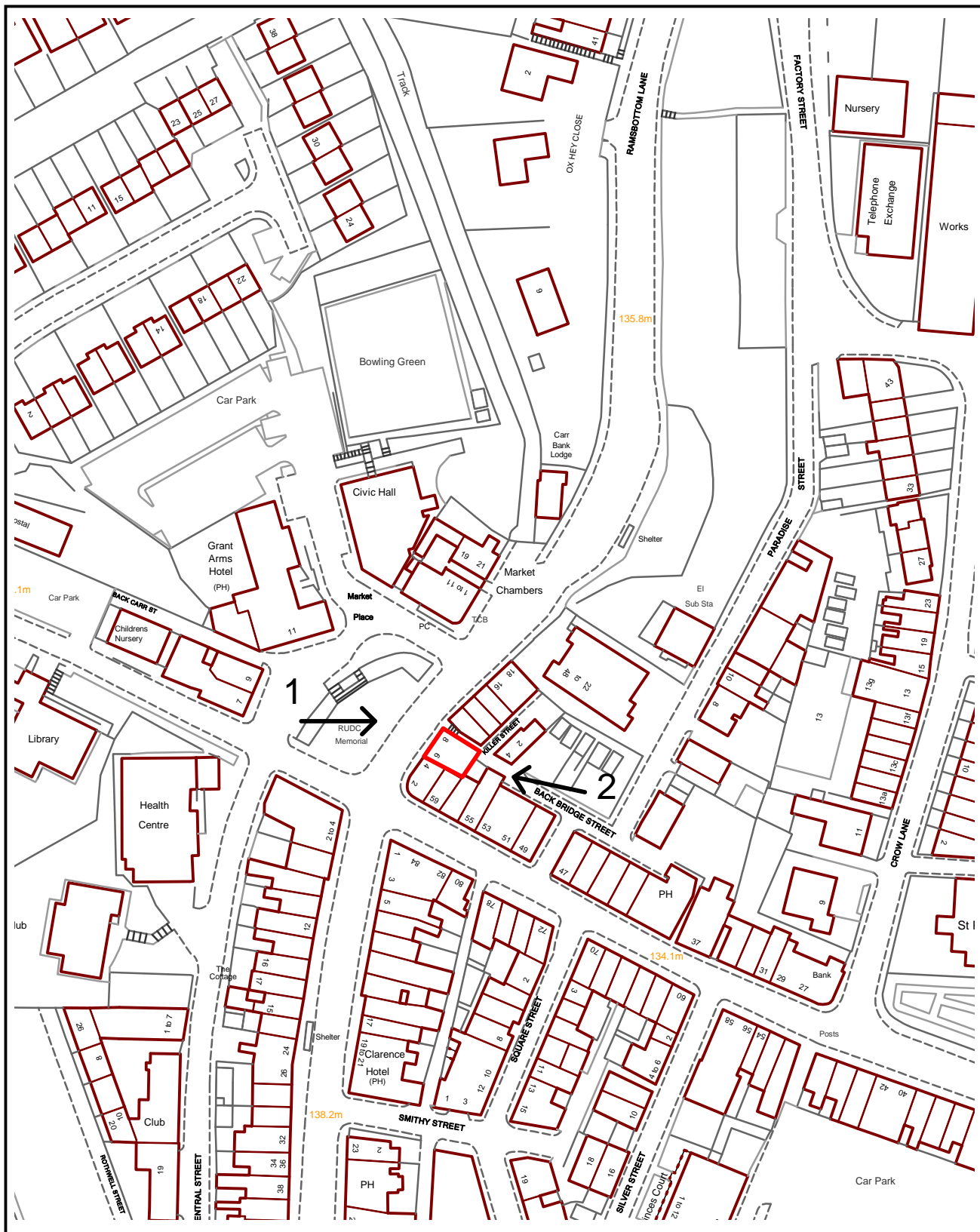
Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered 555-01, 555-02 a, 555-03 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 57448

**ADDRESS: 6-8 Market Place
Ramsbottom**



Planning, Environmental and Regulatory Services 1:1250

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57448

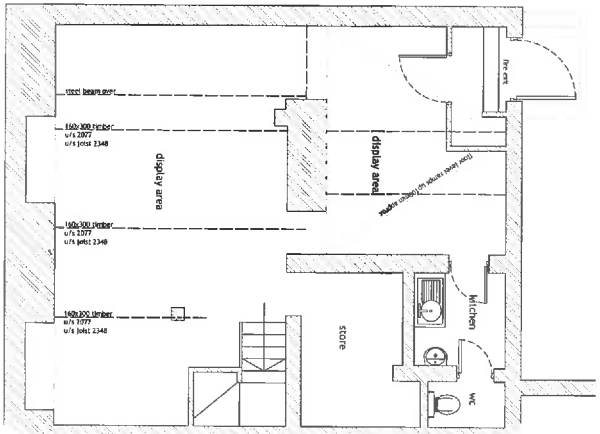
Photo 1



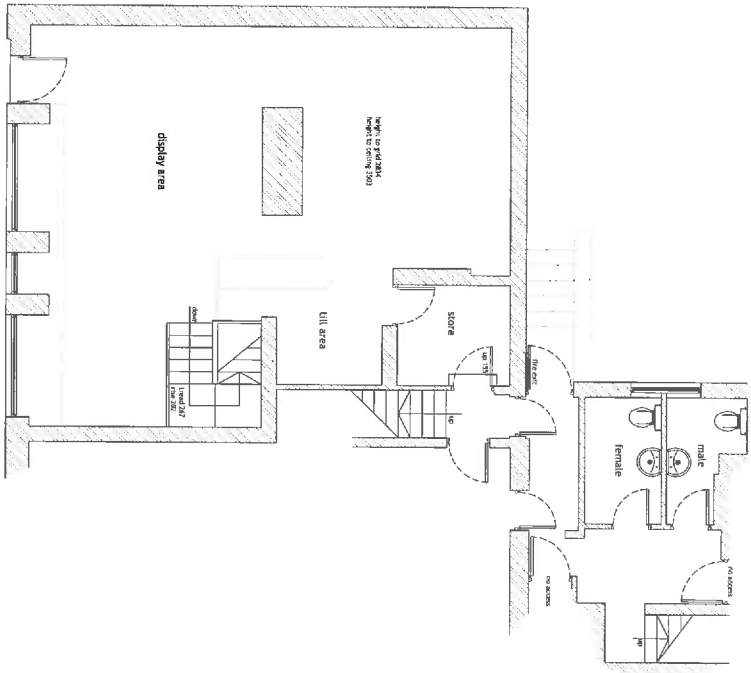
Photo 2



CELLAR



GROUND



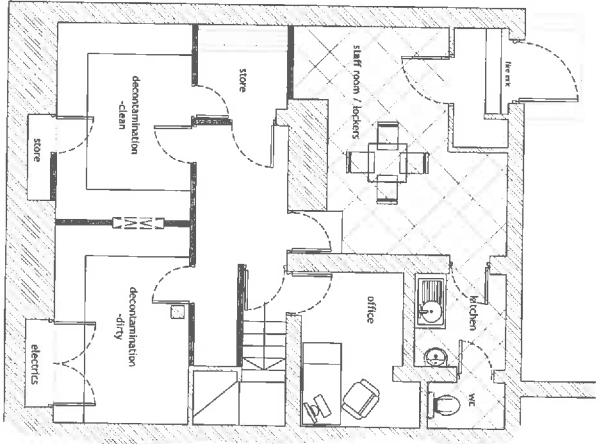
All walls and partitions shall be checked for stability by a structural engineer prior to commencement of works. Any necessary remedial work shall be reported to Matthew Cust Design.
 All information herein is to the copyright of Matthew Cust Design and shall not be reproduced or used in any other form without permission from Matthew Cust Design.

Asst Saleem	
6-8 Market Place	
Rainsootom	
EXISTING SURVEY (PART)	
Scale	1:50
Reference	555-01
PLANNING	

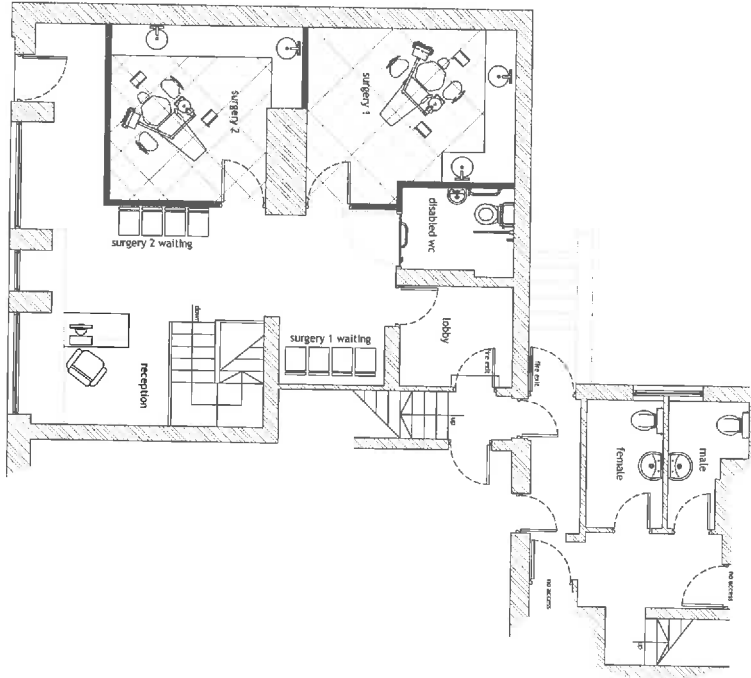
MATTHEW CUST DESIGN

10 Churchbank Stalybridge, Cheshire. SK15 2QJ Tel 07983 347252 email: m.cust@sky.com

CELLAR



GROUND



All walls and partitions must be checked on site by a structural engineer. All information shown is in the opinion of Matthew Cust and is not intended to be used for any other purpose without the written permission from Matthew Cust Design.

Asif Saleem	
6-8 Market Place Ramsbottom	
PROPOSED LAYOUT (PART)	
1:50	555-02
A1	d

PLANNING

MATTHEW CUST DESIGN

10 Churchbank Stalybridge, Cheshire. SK15 2QJ Tel 07983 347252 email: m.cust@sky.com

Ward: Prestwich - St Mary's

Item 04

Applicant: Brookmoor Refurbishments

Location: Land off Kingswood Road, Prestwich, Manchester, M25 3BP

Proposal: Demolition of existing buildings for residential development of 6 detached and 18 semi-detached houses with associated external works.

Application Ref: 57464/Full

Target Date: 09/07/2014

Recommendation: Minded to Approve

It is recommended that this application is Minded to Approve subject to the signing and completion of a Section 106 agreement for recreation provision in accordance with Policy RT2/2 of the adopted Unitary Development Plan and SPD1. Should the agreement not be signed and completed within a reasonable period, it is requested that the application be determined by the Development Manager.

Description

The application relates to an existing employment site which currently comprises single storey office buildings and associated parking and servicing area. It is set between a the boundary with Tesco superstore to the north, the post office to the east, open land directly to the west, and to the south are 2 and 3 storey terrace residential properties. Access is to the west off Kingswood Road. The site is bounded by a palisade fence with hooped railings along the frontage. There is a row of TPO trees (Order no 58) which are outside the site, on the north and western boundaries.

Kingswood Road has restricted parking along the majority of the northern side, save for 2 designated short stay parking areas for post office customers, with on street parking for residents directly outside the houses.

The proposal is for the demolition of the office building and the re-development of the site for 24 houses. There would be 6 detached, five of which would be 5 bedroomed and one 4 bedroomed, and 18 semi detached, all 4 bedroomed.

A row of semi detached houses would face onto Kingswood Road with small front gardens and within the site, the arrangement would be in the form of cul de sac rows. All parking would be within the site, with each detached property offering in - curtilage parking for 2 cars, with the detached houses including a driveway space and single garage. Access would be relocated to the east adjacent to the Post office site.

The development would comprise a mix of contemporary 2.5 and 3 storey, brick built dwellings, some incorporating balconies, dormers and glazed infill panelling features.

The site would be bounded by a 2.1m high timber fence to the north and west with the brick wall maintained to the east along which tree planting is proposed. All the TPO trees, which are outside the site would be retained. 6 trees, none of which are under a TPO, would be removed from within and along the frontage periphery of the site.

The short stay designated parking space would be displaced by the access into the site and moved further along Kingswood Road in front of the proposed new dwellings.

Relevant Planning History

None relevant

Publicity

Seventy letters sent on 15/4/2014 to properties at Nos 1-37 Kingswood Road; 26-34

Dashwood Road; 1 West Road; 506-520 Bury New Road; Flats 1-27 Oak Bank Bury New Road; 492, 517, 519 Bury New Road; Prestwich Delivery Office 2 Kingswood Road; Tesco Stores Ltd Valley Park Road.

Site notice posted 24/4/2014.

Press advert in The Bury Times 24/4/2014.

Two objections received from Nos 27, 37 Kingswood Road which raise the following issues:

- The parking is horrendous with employees, delivery vans and people visiting the Post Office which is adjacent to the proposed development;
- On many occasions have not been able to park outside their own property;
- The development will result in less parking near the Post office and will make the situation worse in the area and outside residential properties;
- There will be more traffic generated by the proposed development making the congestion situation worse;
- Insufficient parking spaces on the proposed site. The plans state 30 parking spaces for 24 houses of at least 4 bedrooms is insufficient;
- The current site is self contained and does not add to the parking problems in the area;
- Glad to see that existing trees around the site are to be retained.

Objection received from D O'Hanlon which raises the following issues:

- The change of use is in a poor location and selection. This is a town centre, prime site, and could easily be converted into mixed use as a minimum;
- The location of the former dwelling to the rear of the Post Office could be converted into parking for use in connection with the post office or this development, and as there exists a Love Prestwich Strategy, which contributed to the core strategy for the Council, we should seek to adopt commercial or retail development in line with this;
- Recognise the existing building is well past its prime, but conversion into housing will see the diminishing employment generating land within Prestwich fade further;
- The facts are - Tesco is keen to redevelop; the post office has insufficient parking; the surrounding dwellings have insufficient parking; the Love Prestwich Strategy to develop commercial viability of the town centre; closure of parking bays on Kingswood will further diminish the parking facilities and lead to closure of the post office; the Council are planning to close half the road through the village so where will anyone park and how will they get there?

Comment received from No 17 Kingswood Road with the following :

- Concerned about the disruption and noise the development may cause to residents on the street and access;
- Seek clarification regarding timescales, likely start date and how to appeal should there be issues with this.

Respondents have been informed of the Planning Control Committee meeting.

Consultations

Traffic Section - No objection subject to conditions.

Drainage Section - No response received. Conditions recommended by United Utilities relating to drainage.

Environmental Health Contaminated Land - No objection subject to conditions.

Waste Management - No issues. Properties will have to accommodate 4 x 240 wheeled bins to comply with the Councils current waste management strategy.

Greater Manchester Police - designforsecurity - No objection. Recommend build to Secured by Design standards

Electricity North West Ltd - The applicant is advised to contact ENW to verify details of the development.

Greater Manchester Ecology Unit - No objection subject to a condition to carry out the recommendations of the revised bat survey.

United Utilities - No objection subject to conditions. A public sewer runs through the site and development over will not be permitted.

Unitary Development Plan and Policies

NPPF	National Planning Policy Framework
H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
EN1/2	Townscape and Built Design
EN1/5	Crime Prevention
EN6/3	Features of Ecological Value
EN9	Landscape
RT2/2	Recreation Provision in New Housing Development
SPD1	DC Policy Guidance Note 1:Recreation Provision
SPD6	Supplementary Planning Document 6: Alterations & Extensions
HT2/4	Car Parking and New Development
HT6/2	Pedestrian/Vehicular Conflict
HT4	New Development
EN8/2	Woodland and Tree Planting
SPD16	Design and Layout of New Development in Bury
SPD11	Parking Standards in Bury
EC2/2	Employment Land and Premises
SPD14	Employment Land and Premises

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle (Housing) - Following revocation of the North West Regional Spatial Strategy on 20 May 2013, there is no statutory housing target for Bury. Work is in progress on Bury's Local Plan - "The Core Strategy", which will bring forward a new statutory housing target. It is currently proposed that the new housing target in the Local Plan should be set at 400 dwellings per annum, which is currently timetabled to be adopted in 2014.

In the meantime, the National Planning Policy Framework should be treated as a material planning consideration and it emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and long term. There is a particular emphasis, as in previous national planning guidance, to identify a rolling five year supply of deliverable housing land.

UDP Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

UDP Policies H2/1 - The Form of New Residential Development and H2/2 - The Layout of New Residential Development takes into consideration factors relating to the height and roof type of adjacent buildings, the impact of developments on residential amenity, the density and character of the surrounding area and the position and proximity of neighbouring properties. Regard is also given to parking provision and access, landscaping and protection of trees/hedgerows and external areas.

Supplementary Planning Document 6 - Alterations and Extensions to Residential Properties provides useful guidance in terms of acceptable aspect standards between dwellings and design criteria.

Principle (Employment) - The site is currently in employment use and the proposal would be subject to UDP Policy EC2/2.

Under Policy EC2/2, the Council will seek the retention of existing employment land and premises outside Employment Generating Areas unless it can be demonstrated that the land and premises are no longer suited, in land use terms, to continued employment use. In such circumstances, consideration will be given to alternative development providing it does not conflict with the character of the surrounding area and other policies of the plan.

However, paragraph 22 of the NPPF states that planning policies should avoid the long term protection of sites allocated for employment use where there is no reasonable prospect of the site coming forward for that purpose. Whilst this site is not a site allocation, it is considered that the principle is applicable to existing employment sites.

In support of UDP Policy EC2/2, the Council has developed SPD 14 which also seeks to retain sites that are suitable in land use terms. However, it does allow for a greater degree of flexibility than EC2/2 insofar as it gives consideration to commercial viability and market issues as well as assessing the suitability of the site from a purely land use perspective. The consideration of these viability and market issues is considered to be an appropriate method of determining whether a site has any reasonable prospect of being used for employment purposes in the context of para 22 of the NPPF.

Para 3.9 of SPD 14 states that there may be instances where an applicant is seeking to demonstrate that the retention of a site in employment use is not economically viable. In this case, the applicant has presented a development appraisal for the redevelopment of the site for office use. Whilst this is limited in terms of the range of employment uses, it is accepted that the characteristics of the site would probably best lend itself to office use. The appraisal shows the redevelopment of the site for office use would be unviable.

In terms of marketing the site, para 3.10 of SPD 14 states that applicants will be expected to clearly demonstrate that the site has been actively and robustly marketed at a realistic price that reflects the employment use. Such marketing would normally be undertaken for a minimum of 12 months. Marketing of the application site has taken place although this is considered to have been limited in scope both in terms of the fact that it was only undertaken over a 9 month period and was targeted at other data centre operators only. However, the report which accompanies the application and this provides a market overview which indicates that there is unlikely to be a demand for office uses on the site.

Given the evidence which has been presented by the applicant, it is accepted that there is unlikely to be a reasonable prospect of the site being used for employment. This, together with the context of para 22 of the NPPF and that consideration should be given to alternative uses, the loss of employment use of this site is considered not to be in serious conflict with either the UDP or the NPPF.

Principle (Housing) - The application relates to a brownfield site which is currently occupied by a redundant single storey office building. The site is in a sustainable location close to a residential urban area which is served by existing infrastructure with good access to transport and services and within walking distance to nearby Prestwich town centre. The development would maximise the size of the site to provide family sized homes without compromise to neighbouring properties and the surrounding area.

As such, the principle of the development is in general accordance with UDP Policy H1/2 - Further Housing Development and in compliance with national planning policy.

Layout - The scheme would be laid out in a cul de sac arrangement, with a row of semi detached properties fronting Kingswood Road, behind which there would be two further rows of housing in a linear form, each separated by an access road. This arrangement would emulate the character of the housing in the surrounding area and would offer an honest approach in terms of scale and density and relationship to the street scene and

Kingswood Road in particular.

There would be 2 parking spaces per dwelling, provided by integral garages or driveways for the detached houses, and in curtilage parking to the rear or frontages of the semi detached properties. The properties would have adequately sized private garden areas, with bin storage provision along the side elevations which would negate the need to locate them to the frontage.

The main access into the site would be moved to the east, adjacent to the post office. This would result in the loss of one of the short stay parking bays which are often utilised by customers visiting the post office. It is proposed to relocate this further down Kingswood Road and as such there would be no loss of this facility for visitors cars.

As such, the proposed layout is considered to be acceptable and would not only offer a well designed and workable residential scheme but would be an efficient use of available land in which to deliver family sized housing.

As such, the proposed layout is considered to be acceptable and would comply with UDP policies H2/1 - The Form of New Residential Development and H2/2 - The Layout of New Residential Development.

Design and appearance - The proposed development would comprise 2.5 and 3 storey houses, the majority of which would be semi detached, with 6 detached houses positioned internally towards the north of the site. Five different house types are proposed in total and this would provide some interest within the site, with a consistent approach to design maintained across the frontage of Kingswood Road.

Whilst the scheme would introduce modern and contemporary elements in terms of the design of the houses through the incorporation of glazed panelling, projecting balconies and symmetrical and clean fenestration lines, the proposed house types would also reflect the scale and character of the residencies in the surrounding area, and particularly the style of the row of terraces along the Kingswood Road frontage in terms of height, massing and materials.

The houses would comprise brick elevations and tiled roofing, with contrasting dark grey window frames to add to the contemporary look. Samples of the materials would be conditioned for further approval. A low brick wall and 1.5m high railings would delineate the frontage of the development and each garden would be separated by timber fencing with gated access to the rear gardens.

Landscaping has been included as part of the scheme which would include semi mature trees and shrubberies, as well as hard landscaping in contrasting materials to the access road, cul de sac road and pavements. This would contribute to the overall aesthetics of the scheme and add to the character and visual amenity of the site.

As such, the design and appearance of the proposed houses and the visual setting of the site are considered to be acceptable and would be in accordance with UDP Policies EN1/2 and H2/1.

Impact upon residential amenity - The new houses which would front onto Kingswood Road and face the properties opposite, would be 2.5 to 3 storey in height, the 2nd floor incorporated within a dormer and roof space. There would be a separation distance of 19m. This would fall short of the requirements of SPD 6 which states there should be 20m maintained between habitable room windows, and a greater separation for any additional storeys.

The additional floor in the newer properties would essentially be in the roofspace and similar to some of the properties directly opposite which also incorporate a room in the roof. The development would be separated from these houses by Kingswood Road, a fairly wide road capable of accommodating 2 passing cars and a row of parked vehicles. There are pedestrian pavements to both sides and front gardens to the existing dwellings which are

bounded by dwarf brick walls, railings and hedges. The new houses would also be set back from the edge of the pavement with front garden boundaries. Although the development would fall short of the required aspect standards by 1m, the layout of the street together with the intervening features creates a sense of space and separation between the new development and the properties opposite. Given the benefits which would be associated with providing housing on the site, together with the layout, design and appearance of the houses, the relationship to the houses opposite on Kingswood Road is considered to be acceptable and in accordance with H2/1 - The Form of New Residential Development and H2/2 - The Layout of New Residential Development.

Parking and access - The development would be accessed by a new opening created off Kingswood Road leading into two cul de sac arrangements, with turning and manoeuvring facilities for refuse and delivery vehicles provided within the site. Visibility splays have been incorporated and the road layout and pedestrian footpaths delineated and designed to the satisfaction of the Traffic section.

The scheme proposes 2 parking spaces per property, which would be short of SPD 11 requirements which states 3 parking spaces per 4 and 5 bedroomed houses, but which is a maximum standard. The site is in a high access area, not only with excellent links to public transport, but also within walking distance to Prestwich town centre, public services and facilities. All the parking would be within the site and in-curtilage, thereby not adding to parking pressures on Kingswood Road. As such, it is considered there would be sufficient parking for the development and the Traffic section have raised no objections.

As a housing development of this scale, less traffic would be generated than for a site which could be utilised for business and commercial purposes. As such, the highways team is satisfied that the proposal would not result in the intensification of use of the site and it would comply with H2/2 - The Layout of New Residential Development.

Lifetime Homes - The proposal would afford the opportunity to incorporate provision of lifetime homes standards within the development and something the Council would seek to advocate in such housing schemes. Details of such provisions would be sought from the applicant by a suitably worded condition.

Trees - The trees to the west and northern boundary of the site are all under a TPO order and are outside the development site. None of these trees would be affected by the development and would be retained, however their proximity is such that some of the roots and canopies encroach onto the site. Tree protection measures would be put in place prior to the commencement of, and during all construction works, and this would be included as a condition of the application.

It is proposed to remove 6 trees, none of which are the subject of TPO. Whilst 4 of the trees are located to the front of the site along Kingswood Road, they have been categorised as B2, C1 and C2, providing moderate to low quality value. Two trees however would be retained at this frontage. A landscaping scheme has been submitted to show there would be replacement planting within the site and as such it is considered their removal would not be harmful to the visual amenity of the area.

Ecology - Emergence bat surveys have been carried out at the request of GMEU and the buildings assessed as low risk for bats. The report recommends that precautionary measures be taken when dismantling the building and this would be included as a condition of the application.

Planning Obligations - The scale of the proposals requires a recreation contribution of £78,312.94 towards off-site recreation provision pursuant to SPD1 which the applicant has agreed to and would be secured through a S106 Agreement.

Response to objectors -

- Issues relating to the disruption and access during construction works are not a material planning consideration and are covered under separate legislation.

- To comply with a planning approval, works would need to commence within the conditioned timescales. Completion of this development is not a material planning consideration.
- The issue of the suitability of the site for continued employment use has been covered in the above report.

Statement in accordance with Article 31 Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2012

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Minded to Approve

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings and documents - 13009, (0-) 08A; 09A; 10J; 23B; 24B; 25A; 26A; 27A; 28A; 29A; 30A; 31A; 32A; 33A; 34A; 35A; 36A; 37A; 38A; 39A; 40A; 41A; 42A; 43A; 44A; (9-) 01C; 02B; Design and Access Statement Strategy Rev A 27 Feb 2014; Planning statement March 2014; Arboricultural report dated amended dated 28/5/2014 and Tree survey schedule; Tree Constraints Plan TCP-01 Rev 1; Preliminary Risk Assessment Phase 1 March 2014 LKC 141009; External Lighting Strategy 28 February 2014 - 13009,3.01; Crime Impact Statement Version A: 18th March 2013; Environmental Strategy 14.02.28 - 13009,301; Ecoteric Code for Sustainable Homes Pre Assessment; Bat survey by Tyrer Partnership issued 20.202014 2014 and updated 6.6.2014 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. No development shall commence unless and until:-
 - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
 - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
 - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.Reason. To secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
4. Following the provisions of Condition 3 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each

stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

5. Any soil or soil forming materials brought to site for use in garden areas, soft landscaping, filling and level raising shall be tested for contamination and suitability for use on site. Proposals for contamination testing including testing schedules, sampling frequencies and allowable contaminant concentrations (as determined by appropriate risk assessment) and source material information shall be submitted to and approved in writing by the Local Planning Authority prior to any soil or soil forming materials being brought onto site, and;
The approved contamination testing shall then be carried out and validity evidence (soil descriptions, laboratory certificates, photographs etc) submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

6. All instances of contamination encountered during the development works which do not form part of an approved Remediation Strategy shall be reported to the Local Planning Authority (LPA) immediately and the following shall be carried out where appropriate:

- Any further investigation, risk assessment, remedial and / or protective works shall be carried out to agreed timescales and be approved by the LPA in writing;
- A Site Verification Report detailing the conclusions and actions taken at each stage of the works including validation works shall be submitted to, and approved in writing by, the LPA prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

7. The development hereby approved shall not commence unless and until a scheme of protection for all trees and all TPO trees to be retained on site in accordance with BS 5837:2005 "Trees in Relation to Construction" as amended has been submitted to and agreed in writing by the Local Planning Authority. The development shall not commence unless and until the measures required by that scheme have been implemented, to the written satisfaction of the Local Planning Authority and all measures required by the scheme shall continue until the development has been completed.

Reason. To avoid the loss of trees which are of amenity value to the area pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.

8. No development shall commence unless and until details of foul and surface water drainage aspects have been submitted to and approved by the Local Planning Authority. This must include assessment of potential SUDS options for surface water drainage. The approved scheme only shall be implemented prior to the first occupation of the dwellings hereby approved and thereafter maintained.

Reason. To reduce the risk of flooding and ensure the satisfactory treatment of

surface water drainage pursuant to Chapter 10 of the National Planning Policy Framework - Meeting the Challenge of Climate Change, Flooding and Coastal Change and Unitary Development Plan Policy EN5/1 - New Development and Flood Risk.

9. The development hereby approved shall be carried out in accordance with the recommendation and conclusions of the updated bat survey by the Tyrer Partnership on 6.6.2014.
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policy EN6 – Conservation of the Natural Environment and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
10. Notwithstanding the terms of the Town and Country Planning (General Permitted Development) Order 1995, as subsequently amended, no development shall be carried out within the terms of Classes A, B, C and E of Part 1 of Schedule 2 of the Order, without the prior written consent of the Local Planning Authority.
Reason. To ensure that future inappropriate alterations or extensions do not occur pursuant to policies of the Unitary Development Plan listed.
11. Provision for lifetime homes shall be incorporated into the development in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority prior to the development hereby approved commencing. The development shall then be carried out incorporating the measures in accordance with the approved scheme.
Reason. To ensure that the development is fully accessible to disabled persons pursuant to Policies HT5/1 – Access for Those with Special Needs of the Bury Unitary Development Plan.
12. Notwithstanding the details indicated on the approved plans, the development hereby approved shall not be commenced unless and until full details of the following have been submitted to and approved by the Local Planning Authority:
 - access alterations on Kingswood Road incorporating the reinstatement of the redundant site access opposite Dashwood Road to adjacent footway levels, demarcation of the limits of the adopted highway and all necessary alterations to existing highway drainage, street lighting and associated remedial works;
 - relocation of the existing limited waiting bay and all associated highway works, alterations to signage and road markings and amendments to existing traffic regulation orders;
 - proposed estate road design incorporating material suitable for adoption;
 - street lighting scheme for the residential development;
 - swept path analysis of the proposed estate roads to ensure a refuse collection vehicle can pass a private car.

The details hereby approved shall be implemented to the written satisfaction of, and to a programme and specification to be approved by the Local Planning Authority.

Reason. To ensure good highway design in the interests of road safety and to maintain the integrity of the adopted highway pursuant to Bury Unitary Development Plan Policies H2/2 - The Layout of New Residential Development, HT4 - New Development and HT6/2 - Pedestrian/Vehicular Conflict.

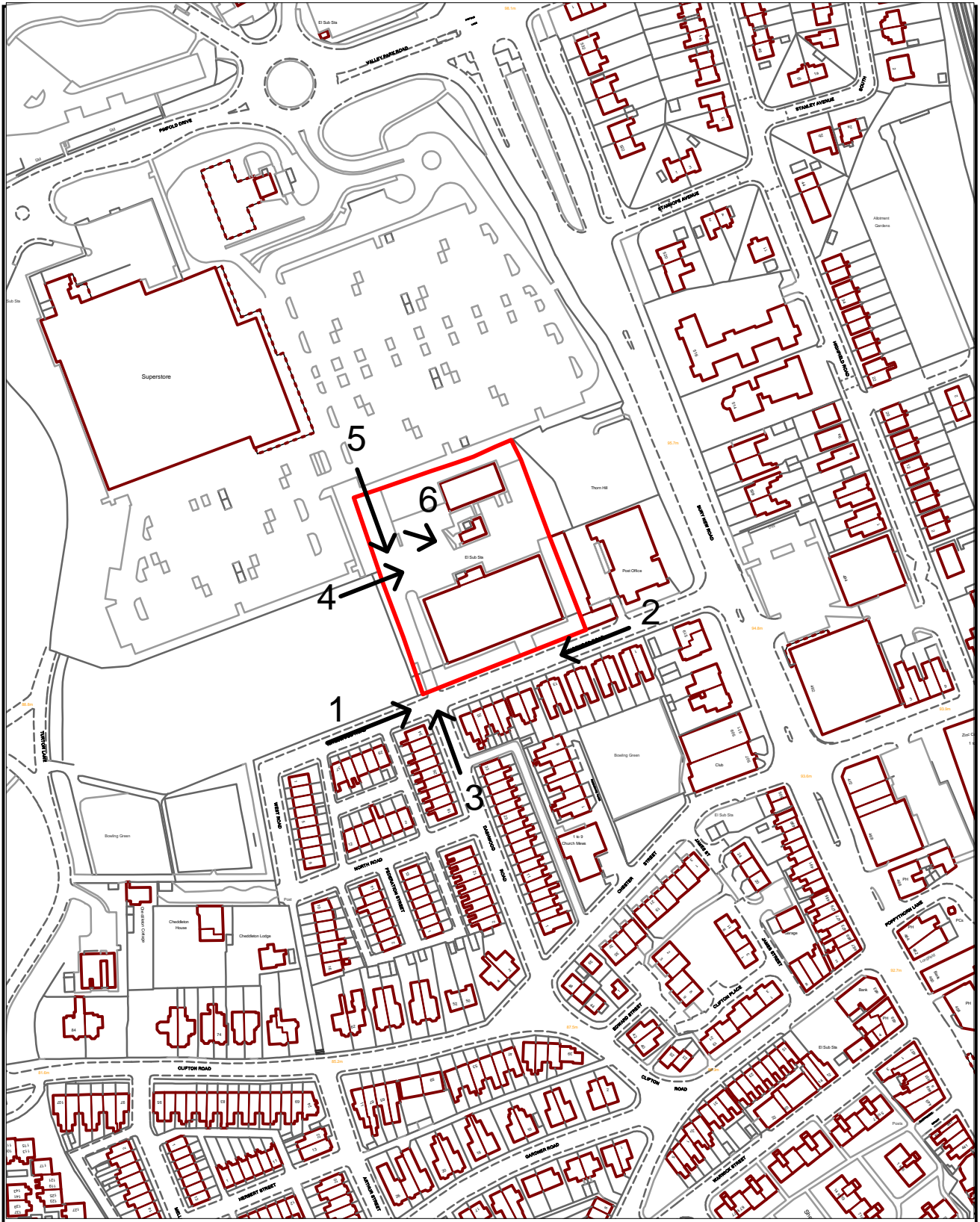
13. No development shall commence unless and until full details of a 20mph traffic calming scheme on the proposed estate roads, incorporating appropriate entry signage and speed reducing measures, have been submitted to and approved by the Local Planning Authority. The details subsequently approved shall be implemented to an approved programme by the Local Planning Authority.
Reason. To ensure good highway design in the interests of road safety pursuant

to Bury Unitary Development Plan Policies H2/2 - The Layout of New Residential Development, HT4 - New Development and HT6/2 - Pedestrian/Vehicular Conflict.

14. The footway visibility splays indicated on the approved plans shall be implemented to the approval of the Local Planning Authority before the development is brought into use and subsequently maintained free of obstruction above the height of 0.6m
Reason. To ensure the intervisibility of the users of the site and the adjacent highways in the interests of road safety pursuant to Bury Unitary Development Plan Policies H2/2 - The Layout of New Residential Development and HT6/2 - Pedestrian/Vehicular Conflict.
15. Minimum hardstanding lengths of 5.5m measured between the highway boundary and any proposed garage doors or 5.0m at dwellings without garages shall be provided for approval by the Local Planning Authority and thereafter maintained.
Reason. To enable a vehicle to stand clear of the highway whilst the garage doors are opened and/or to allow adequate space to maintain a vehicle clear of the highway in the interests of pedestrian safety pursuant to Bury Unitary Development Plan Policies H2/2 - The Layout of New Residential Development and HT6/2 - Pedestrian/Vehicular Conflict.
16. The turning facilities indicated on the approved plans (or similar alternative provision that enables construction traffic to enter and leave the site in a forward gear to be approved by the Local Planning Authority) shall be provided before construction of the dwellings is commenced and shall subsequently be maintained free of obstruction at all times.
Reason. To minimise the standing and turning movements of vehicles on the highway in the interests of road safety pursuant to Bury Unitary Development Plan Policies H2/2 - The Layout of New Residential Development, HT4 - New Development and HT6/2 - Pedestrian/Vehicular Conflict.
17. The Developer, within one week of the commencement of development, shall ensure that there is provision to be made for the parking on site of operatives' and construction vehicles together with storage on site of construction materials. The provision shall be retained and used for the intended purpose for the duration of the construction period and that area shall not be used for any other purposes other than the parking of vehicles and storage of construction materials respectively.
Reason. To ensure adequate off street car parking provision for the duration of the construction period in the interests of road safety pursuant to Bury Unitary Development Plan Policy H2/2 - The Layout of New Residential Development.
18. Before the development is commenced, details shall be submitted to and approved by the Local Planning Authority to cover measures to ensure that all mud and other loose materials are not carried on the wheels and chassis of any vehicles leaving the site and measures to minimise dust nuisance caused by the operations. The approved details shall be implemented and maintained thereafter during the period of construction.
Reason. To ensure that the adopted highways are kept free of deposited material from the groundworks operations pursuant to Bury Unitary Development Plan Policy HT4 - New Development.

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 57464

**ADDRESS: Land off Kingswood Road
Prestwich**



Planning, Environmental and Regulatory Services 1:1250

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57464

Photo 1



Photo 2



57464

Photo 3



Photo 4



57464

Photo 5



Photo 6





- Proposed Access Way
- Proposed Porous Asphalt
- Proposed Driveways
- Proposed Footpaths
- Proposed Fences
- Proposed Boundary
- Proposed Boundary
- Proposed Boundary
- Proposed Boundary
- Proposed Boundary

Notes

- J ACCESS WAY GATE AND SEMI DETACHED 05.08.14 JA
- REAR GARDENS AMENDED AS REQUESTED
- BY PLANNING OFFICERS
- H CAR PARKING AND LAYOUT AMENDED AS 02.08.14 JA
- REQUESTED BY PLANNING OFFICERS
- I PLANNING ISSUE 18.02.14 JA
- F REVISED SCHEME WITH REDUCED 22.01.14 JA
- NUMBER OF HOUSES
- G AREA ADDED 17.01.14 JA
- HOUSE TYPE A AMENDED, CAR PARK
- E AREA ADDED
- D REVISED LAYOUT 13.01.14 JA
- C REVISED LAYOUT 13.01.14 JA
- B ISSUED FOR PLANNING 09.01.14 JA
- A HOUSE TYPE A AMENDED 08.01.14 JA

Status:

 Drawn: JA

 Date: 25 Oct 2013

 Scale @ A1: 1:250

 Review:

 Client: BROOKMOOR REFURBISHMENTS

 Project: RESIDENTIAL DEVELOPMENT
 KINGSWOOD ROAD
 PRESTWICH

 Drawing Number: 13009(0)-10J
 CAD File

 Drawing Title: SITE PLAN

URBAN

 Planning
 Architects
 Engineers
 Surveyors
 Project Managers

PROPOSED SITE PLAN

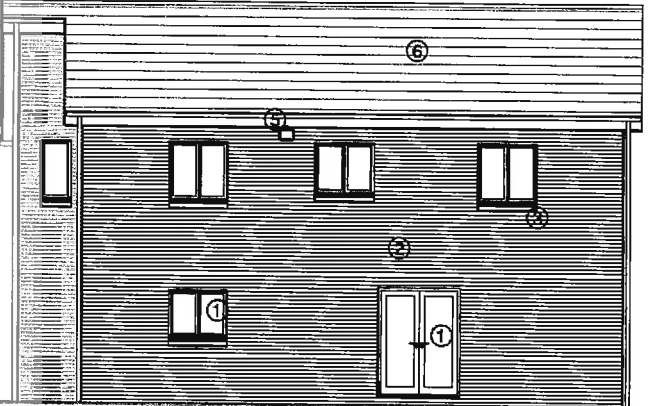
Where dimensions are not given drawings shall not be scaled and the reader referred to the architect. In the event of any detail or dimensional conflict between drawings, the latter shall be referred to the Architect for clarification. Do not scale from this drawing. This drawing is not to be copied or disclosed by or to any unauthorised persons without the prior written consent of PLYMBORE FORMS LTD.

Notes

- 1 DARK GREY UPVC DOORS & WINDOWS
- 2 FACED BRICK WALLS
- 3 ART STONE GILL
- 4 FACED BRICK WALL TYPE TWO
- 5 DARK GREY FACED, ROOF & BAY
- 6 ART ROOF TILES DARK GREY 'STONE' FINISH ON SHEDS
- 7 BRUSHED SILV HANDRAIL WITH GLASS PANEL
- 8 STAINED BLATTED TRAMER PANEL DOOR
- 9 DOWNER WINDOW WITH GREY SINGLE PLY MEMBER FINISH
- 10 GARAGE DOOR WITH TRAMER FINISH
- 11 DARK GREY ART STONE PANEL



FRONT & SIDE ELE'S



REAR & SIDE ELE'S

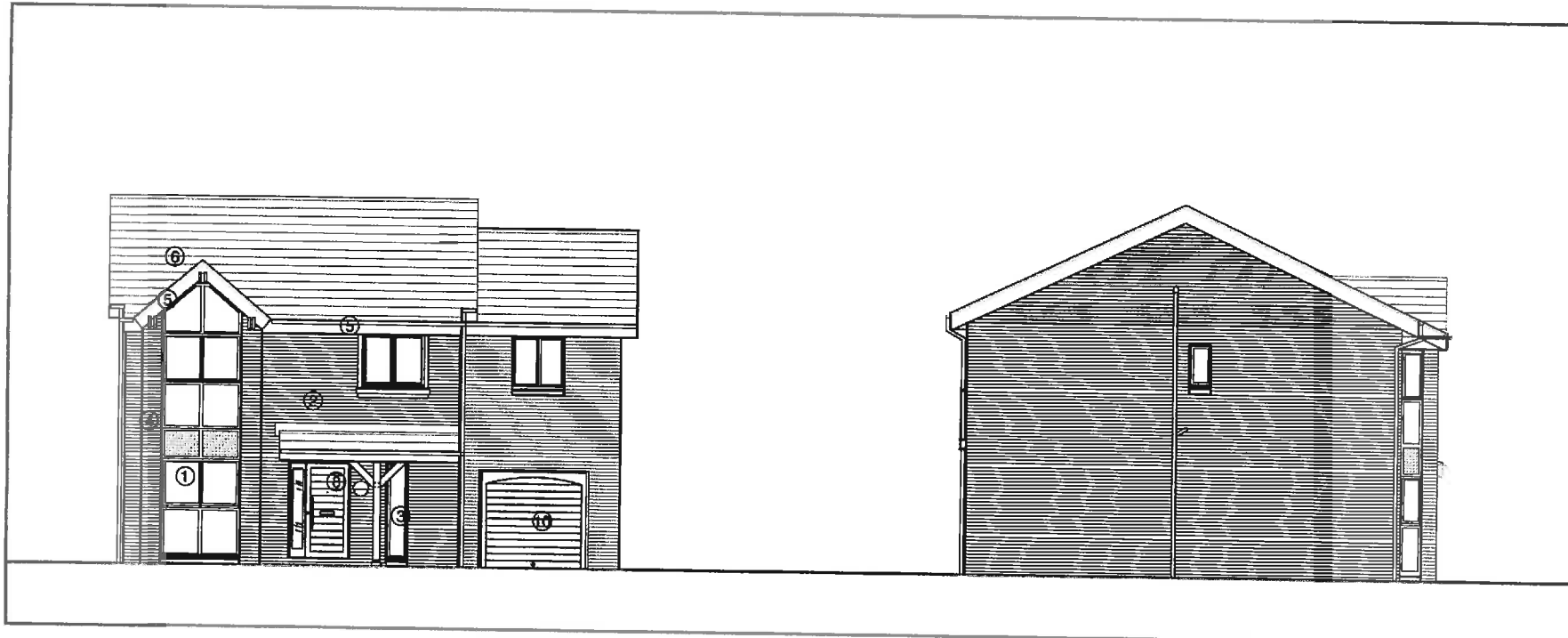
A - ISSUED FOR PLANNING 02.01.14 JA

Status	PLANNING
Drawn	JA
Date	11 NOV 2013
Scale @ A1	1:250
Review	
Client	BROOKMOOR REFURBISHMENTS LTD
Project	RESIDENTIAL DEVELOPMENT KINGSHOOD ROAD PRESTWICH
Drawing Number	13009-(D)-40A CAC/6
Drawing Title	DETACHED HOUSES ELEVATIONS TYPE A
Drawn by	AT/AM/CP/MP
Checked by	Manager M/S/SL
Drawn by	Tel: +44(0)181 236 2666
Checked by	Fax: +44(0)181 236 2660
Project manager	WWW.PLYMBOREFORMS.COM

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Notes

- 1 - DARK GREY UPVC DOORS & WINDOWS
- 2 - FACED BRICK WALLS
- 3 - ART STONE CILL
- 4 - FACED BRICK VENT, TYPE TWO
- 5 - DARK GREY FACED, ROOF & WHP
- 6 - ART ROOF FEELS QUINCY STEWART FURCIEALL OR BURNLEY
- 7 - FINISHED GILL HANDRAIL WITH GLASS SPIRE PANEL
- 8 - STAINED BLATTED TIMBER PANEL DOOR
- 9 - DARKEN WINDOWS WITH GRAY BRICKLE FLY MESHEN FRISH
- 10 - GARAGE DOOR WITH TIMBER FRISH
- 11 - DARK GREY ART STONE PANEL




FRONT & SIDE ELE'S



REAR & SIDE ELE'S

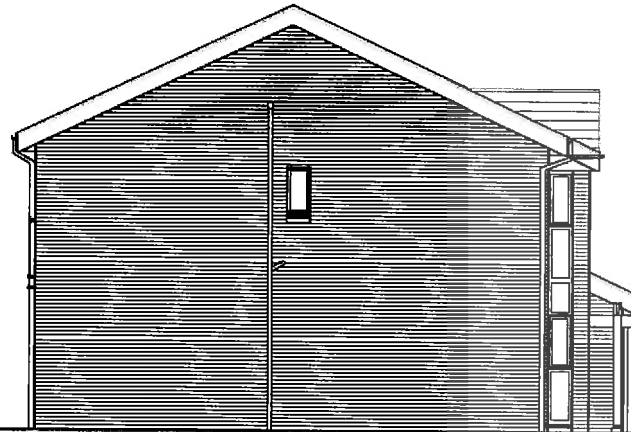
A - ISSUED FOR PLANNING 02.01.14 JA

Scale	1:100
Drawn	JA
Date	14 NOV 2013
Scale @ A1	1:250
Review	
Client	BROOKWOOD REFURBISHMENTS LTD
Project	RESIDENTIAL DEVELOPMENT KINGSWOOD ROAD PRESTWICH
Drawing Number	13009,(0)-41A CAD file
Drawing Title	DETACHED HOUSES TYPE B ELEVATIONS
 13009 Brookwood Refurbishments Ltd 21 The Old Rectory 100 High Street Prestwich, Greater Manchester M35 9JL Tel: 0161 275 2000 Fax: 0161 275 2000 Email: info@brookwoodrefurb.co.uk Website: www.brookwoodrefurb.co.uk	

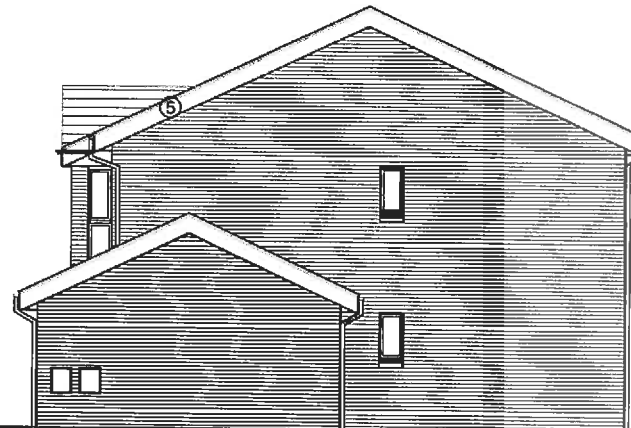
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Notes

- 1 - DARK GREY UPVC DOORS & WINDOWS
- 2 - FACED BRICK WALLS
- 3 - ART STONE CEIL
- 4 - FACED BRICK WALL TYPE TWO
- 5 - DARK GREY FACIAL, ROOF & TRAP
- 6 - ART ROOF TILES SANDLEY & TARRANT INTERLOCKS OR SIMILAR
- 7 - BRUSHED B.L. HANDRAIL WITH GLASS INFILL PANEL
- 8 - STAINED BLATTED TIMBER PANEL DOOR
- 9 - CORNER WINDOW WITH DARK GREY UPVC FRAME & FLY MESHED PUPPET
- 10 - DARKER DOOR WITH TIMBER PUPPET
- 11 - DARK GREY ARTIFICIAL PANEL



FRONT & SIDE ELE'S



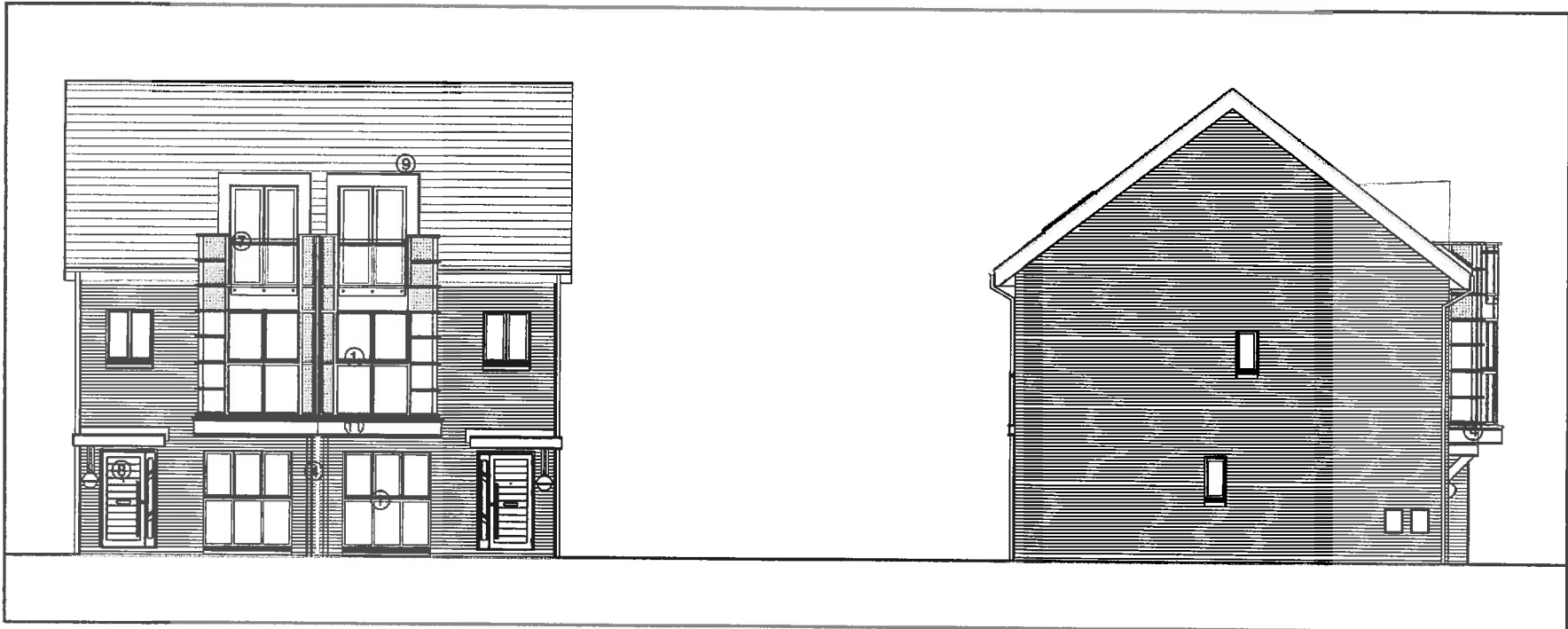
REAR & SIDE ELE'S

A - ISSUED FOR PLANNING 08.01.14 JA
 Status - **PLANNING**
 Drawn - JA
 Date - 11 NOV 2013
 Scale - A1 - 1:50
 Plot size -
 Client - **BROOKMOOR REFURBISHMENTS LTD**
 Project - **RESIDENTIAL DEVELOPMENT
KINGSWOOD ROAD
PRESTWICH**
 Drawing Number - **13009_0-42A**
 Drawing Title - **DETACHED HOUSES
ELEVATIONS
TYPE C**
 BROOKMOOR REFURBISHMENTS LTD
 17 THE GARDENS
 MCGRAVE
 TEL: 01276 278 288
 FAX: 01276 278 283
 EMAIL: info@brookmoorrefurbishments.com
 WWW: www.brookmoorrefurbishments.com

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Notes

- 1 - DARK GREY UPVC DOORS & WINDOWS
- 2 - FACED BRICK WALLS
- 3 - ARI 31 DR. GR.
- 4 - FACED BRICK WALL TYPE TWO
- 5 - DARK GREY FACIAL, ROOF & WHP
- 6 - JAP. ROOF TILES (MATERIAL BY OTHER PROVIDER) OR SHINGLES
- 7 - POLISHED S.S. HANDRAIL WITH GRASS PANNEL PANEL
- 8 - STAINED SLATTED TIMBER PANEL DOOR
- 9 - DOWNER WINDOW WITH GREY STABLE FLY MESHING SCREEN
- 10 - DOWNER DOOR WITH STABLE FLY MESHING SCREEN
- 11 - DARK GREY ARTIFICIAL PANEL



FRONT & SIDE ELEVATIONS



REAR & SIDE ELEVATIONS

A - ISSUED FOR PLANNING GEL/114 JA

Status - **PLANNING**

Drawn - JA

Date - 30 Oct 2013

Scale @ A1 - 1:50


Revised

Client - BROOKMOOR REFURBISHMENTS LTD

Project - RESIDENTIAL DEVELOPMENT
KINGSWOOD ROAD
PRESTWICH

Drawing Number - 13005(0)-43A
EAO/PA

Drawing Title - SEMI DETACHED HOUSES (TYPE D)
ELEVATION

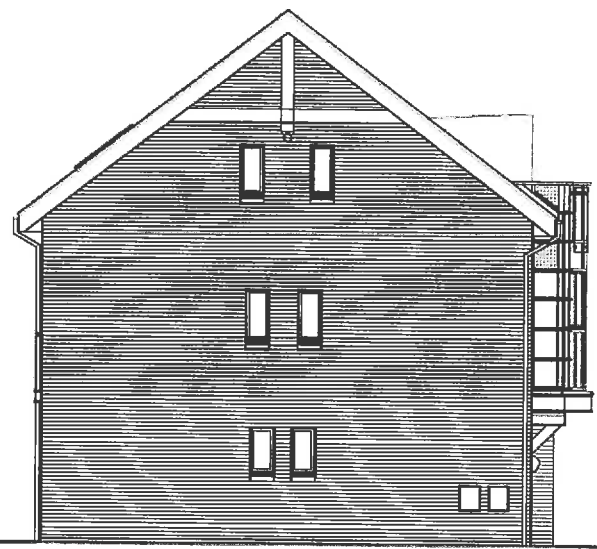

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 Birmingham
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 F: +44 (0)121 81 238 0630
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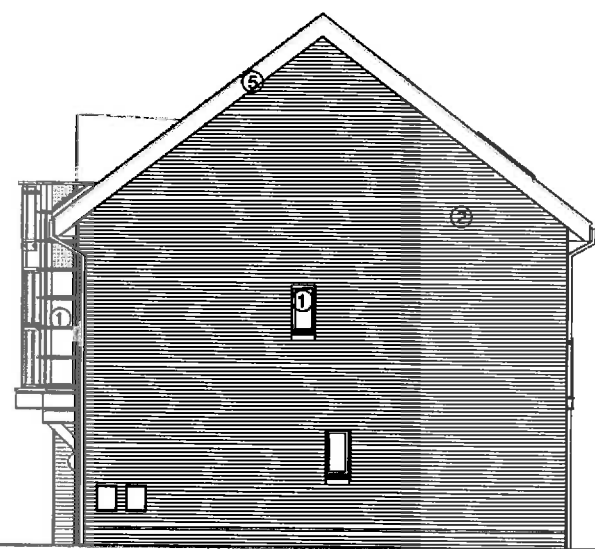
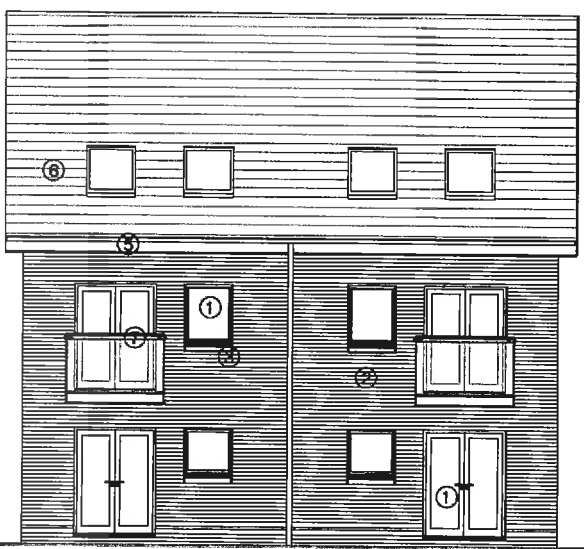
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Notes

- 1 - DARK GREY UPVC DOORS & WINDOWS
- 2 - FACED BRICK WALLS
- 3 - AIR-SEAL GILL
- 4 - FACED BRICK WALL TYPE TWO
- 5 - DARK GREY FACIAL, SOFT & RAMP
- 6 - AIR-ROOF-TRAY (BURN-TY ETHER) RENDITEAL E OR SEMI-APR
- 7 - GALVANISED S/S HANDRAIL WITH GLASS INFILL PANEL
- 8 - STAINED SLATED TRUSSEL PANEL DOOR
- 9 - DOWNER WINDOW WITH GREY BRICK PLY MEMBER FINISH
- 10 - GARAGE DOOR WITH BRICK FINISH
- 11 - DARK GREY APPEARAL BRICK



FRONT & SIDE ELEVATIONS



REAR & SIDE ELEVATIONS

A - ISSUED FOR PLANNING 06/11/14 JH

Drawn - J.A. STAFFORD

Checked - JA

Date - 30 Oct 2013

Scale @ A1 - 1:50

Review -

Client - BROOKMOOR REFURBISHMENTS LTD

Project - RESIDENTIAL DEVELOPMENT
KINGSWOOD ROAD
PRESTWICH

Drawing Number - 13009_0-144A
S40/R6

Drawing Title - SEMI DETACHED HOUSES (TYPE B)
ELEVATION

PWS 17 Radford Road
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M14 5PL

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www.pwsplanning.com

Ward: Whitefield + Unsworth - Unsworth

Item 05

Applicant: The Spear Trust

Location: Bury & Whitefield Jewish Primary School, Parr Lane, Bury, BL9 8JT

Proposal: Single storey nursery building

Application Ref: 57470/Full

Target Date: 05/06/2014

Recommendation: Approve with Conditions

Description

The application relates to a single storey primary school within a residential area close to the junction of Parr Lane and Sunny Bank Road. The school building lies to the north east of a playing field that is used by the school. The grounds are fenced off and there are trees and shrubs around the boundary. The pedestrian and vehicular entrance is from Parr Lane via a narrow access road - School Close.

The school caters for the Jewish community and includes a nursery facility which the applicant states in the supporting statement, is not particularly practical in terms of everyday operations.

The proposal is to construct a new nursery facility extending from the south west elevation, facing onto the adjacent field. The extension would be single storey with a shallow pitched and part glazed roof and have a footprint measuring approximately 10m by 8m. It would be made up of new nursery space with toilet facilities. It would be finished in brick to match the existing school building.

Relevant Planning History

45865 - Construction of translucent roof covering to play area - Approved 24/02/2006

55273 - Single storey extension to classroom. - Approved 02/08/2012

Publicity

The following 60 neighbours were notified by letter dated 17/04/14. 108-172 (even) Parr Lane, 1-21 (odd) Hillsborough Drive, 278-288 (even) Sunnybank Road and 1-9 Leeds Close (odd).

Objections received from 108 and 126 Parr Lane and 286 Sunny Bank Road are summarised below.

- The extension would mean increased traffic during drop off and pick up times.
- Building work would cause added congestion around the entrance, blocking neighbour's access and garages.

The objectors have been notified of the Planning Control Committee.

Consultations

Drainage Section - No objection.

Education - No objection.

Traffic Section - No objection.

Unitary Development Plan and Policies

EN1/2 Townscape and Built Design

EN1/5 Crime Prevention

CF2 Education Land and Buildings

HT2/4 Car Parking and New Development

SPD11 Parking Standards in Bury

SPD16 Design and Layout of New Development in Bury

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Use - UDP Policy CF2 Education Land and Buildings states that favourable consideration will be given to proposals which provide or improve education facilities. As this proposal involves improving the existing nursery facilities at the school, the principle is acceptable and complies with Policy CF2.

Visual amenity - The proposed extension is relatively modest in scale and has been designed to be in keeping with the existing building in terms of style, appearance and finishing materials. The proposal is acceptable and complies with UDP Policy EN1/2 Townscape and Built Design.

Residential Amenity - Given the size and siting of the extension itself, approximately 35m away from the nearest residential properties on Parr Lane, residential amenity of neighbours would not be detrimentally affected.

The building phase of the project will no doubt generate related construction traffic and noise. This however is not a material planning consideration and would be subject to Environmental Health legislation.

The concerns that the new extension would generate more traffic from parents dropping off and picking up children are reasonable, particularly given the existing problems around the site at certain times of the day. However the Council's, and the school's own forecasts, do not predict a significant increase in numbers for the nursery, beyond the 30 already allocated in the school plan. The proposal represents more of an improvement to existing facilities rather than increasing numbers of children and as such there would be no significant increase in traffic generation. The proposal is acceptable in terms of traffic and parking and complies with UDP Policies CF2, HT2/4 and associated guidance.

Objections - The concerns of the objectors have been addressed in the above report.

Statement in accordance with Article 31 Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2012

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered PLANG/001, 002, 003, 004, 005 and 006 and the development shall not be carried out except in accordance with the

drawings hereby approved.

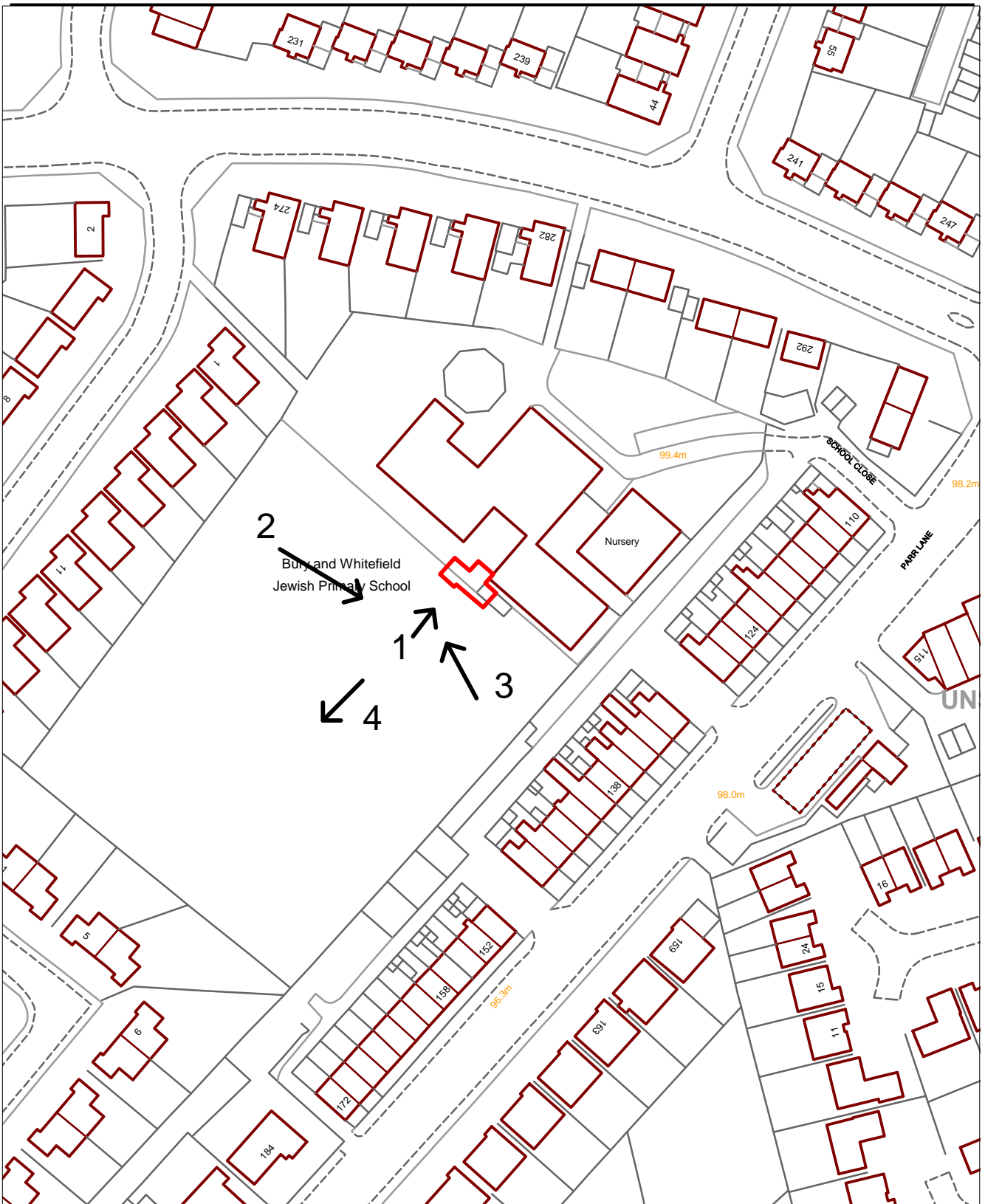
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.

3. The external finishing materials for the proposal hereby approved shall match those of the existing building.

Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.

For further information on the application please contact **Tom Beirne** on **0161 253 5361**

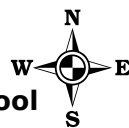
Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 57470

**ADDRESS: Bury & Whitefield Jewish Primary School
Parr Lane, Bury**



Planning, Environmental and Regulatory Services 1:1250

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57470

Photo 1



Photo 2



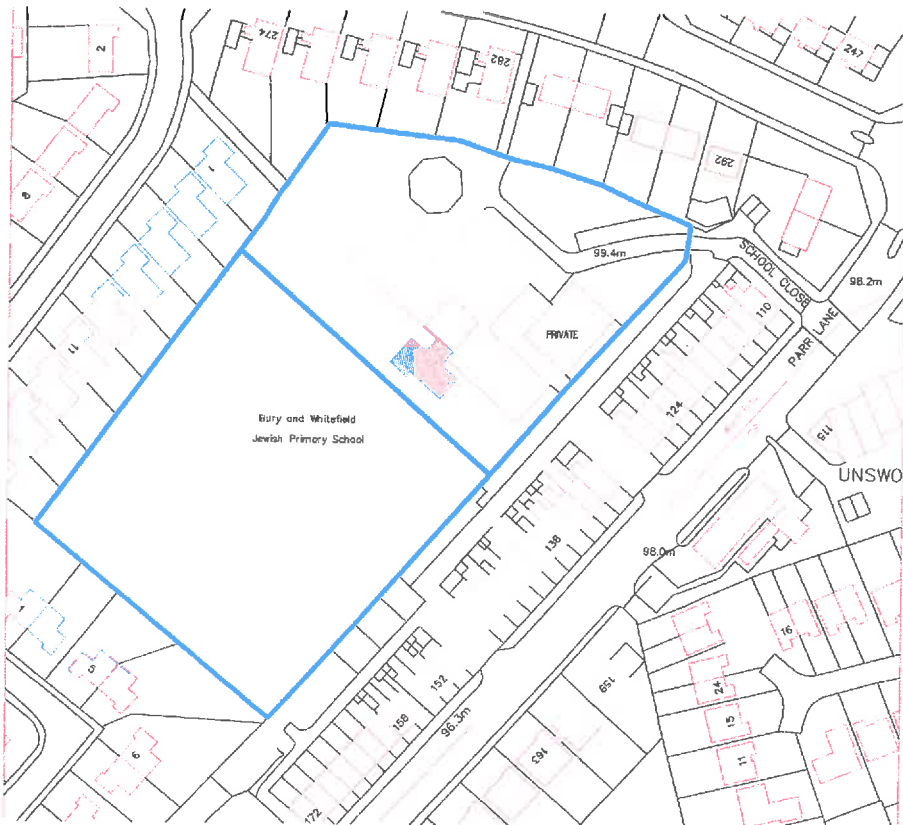
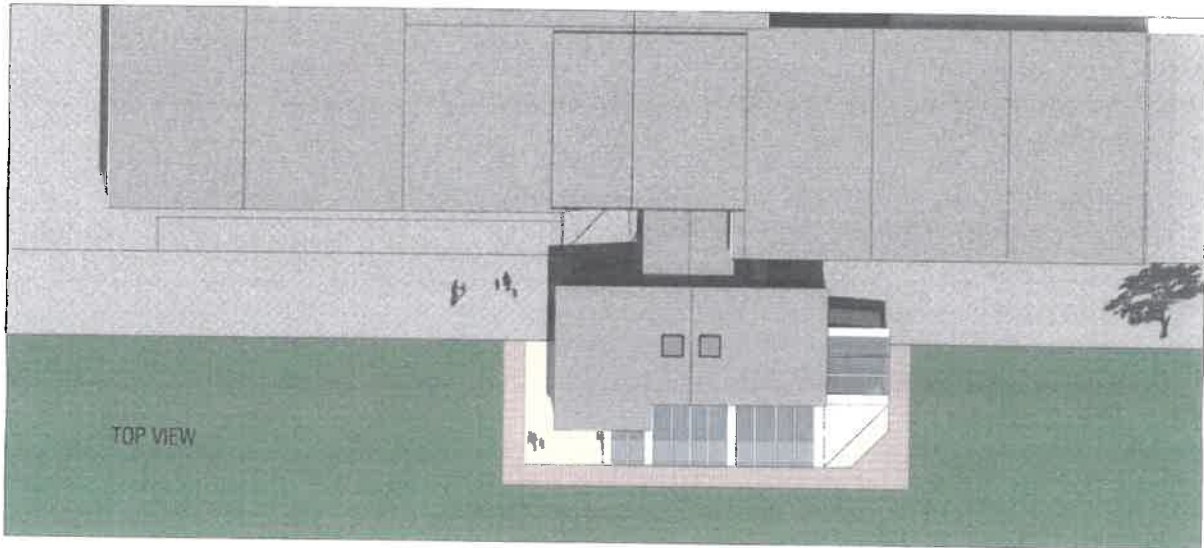
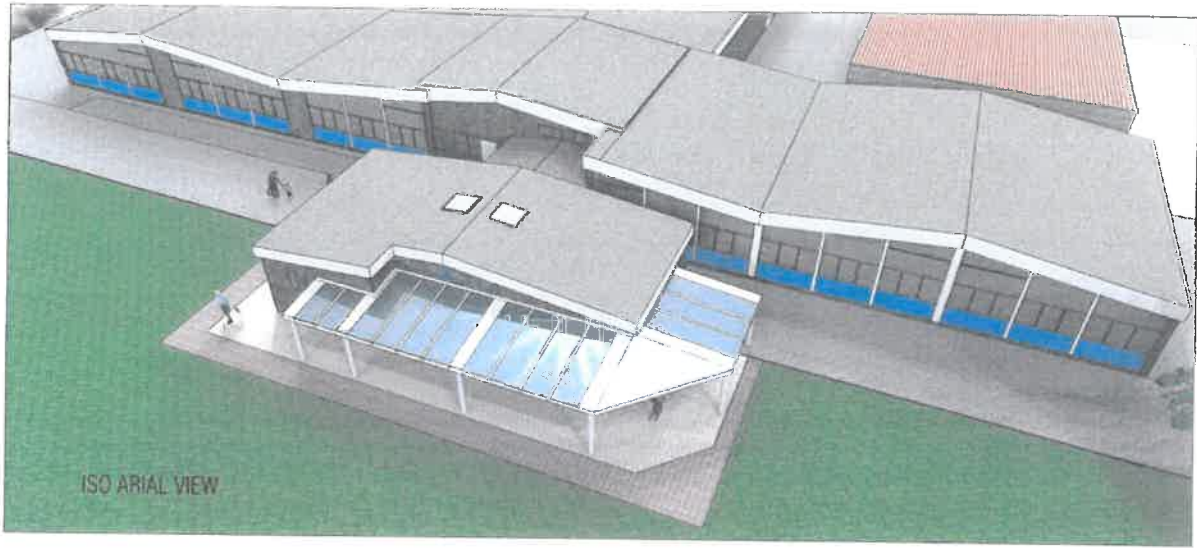
57470

Photo 3



Photo 4



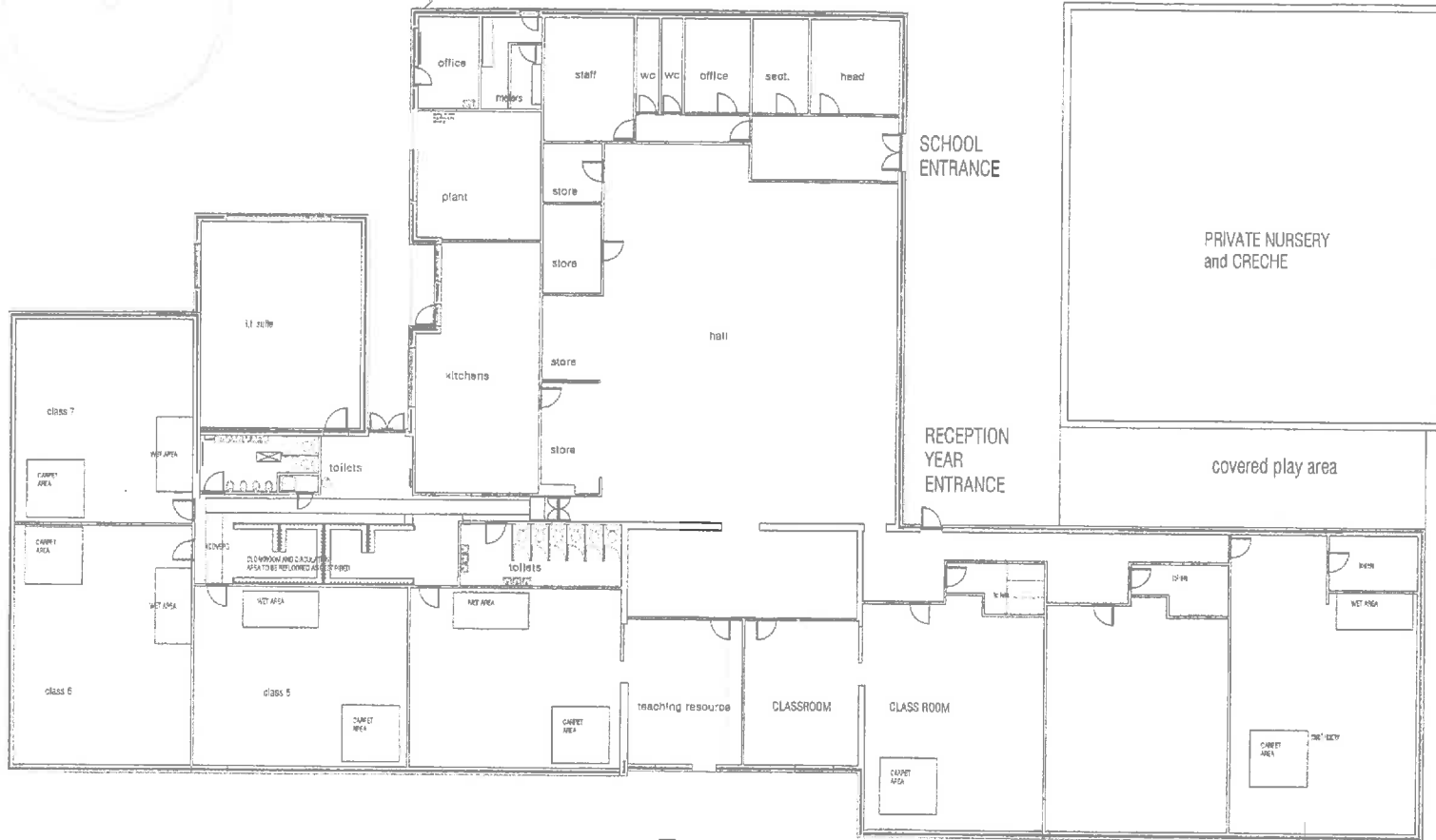


↑
N
LOCATION
PLAN
Scale 1:1250

Phoenix Buildings
Heywood Road
Manchester M25 1FN
T: 0161 870 3611
E: harry@tcbc.co.uk
W: www.tcbc.co.uk

BUILDING CONTRACTORS
DESIGN
and
BUILD

PROPOSED NURSERY at BURY & WHITEFIELD JEWISH PRIMARY SCHOOL PARR LANE, WHITEFIELD, BURY			
THE SPEAR TRUST 26 OLD HALL ROAD SALFORD M7 4GF			
REVISED	FLANG006	L100 @ A3	SPN February 2014



Phoenix Buildings
 Heywood Road
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 T: 0161 870 3611
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 W: www.tlcbc.co.uk

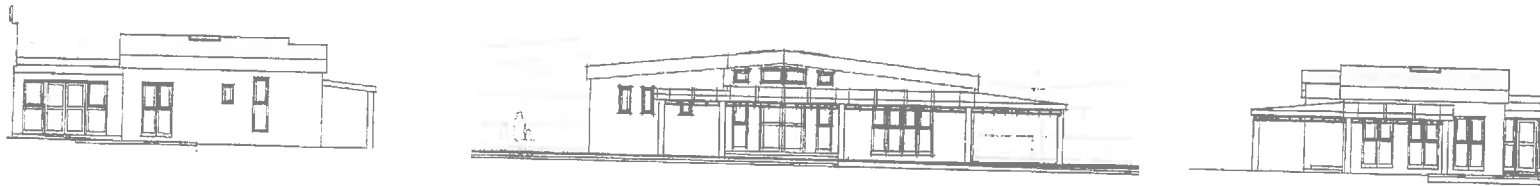
PROPOSED NURSERY at BURY & WHITEFIELD JEWISH PRIMARY SCHOOL PARR LANE, WHITEFIELD, BURY					
THE SPEAR TRUST 28 OLD HALL ROAD SALFORD M7 4PJ					
EXISTING PLAN	PLARB/001	1:200 @ A3	SFA	February 2014	-



PROPOSED WEST SIDE ELEVATION WITHOUT COVERED WAY

PROPOSED SOUTH ELEVATION WITHOUT COVERED WAY

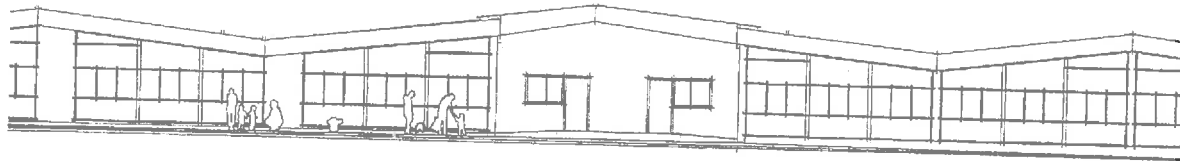
PROPOSED EAST SIDE ELEVATION WITHOUT COVERED WAY



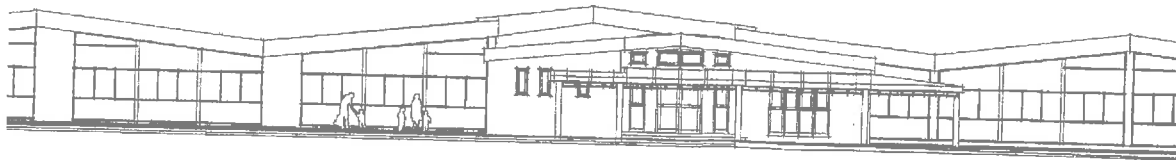
PROPOSED WEST SIDE ELEVATION WITH COVERED WAY

PROPOSED SOUTH ELEVATION WITH COVERED WAY

PROPOSED EAST SIDE ELEVATION WITH COVERED WAY



EXISTING SOUTH LONG ELEVATION



PROPOSED SOUTH LONG ELEVATION

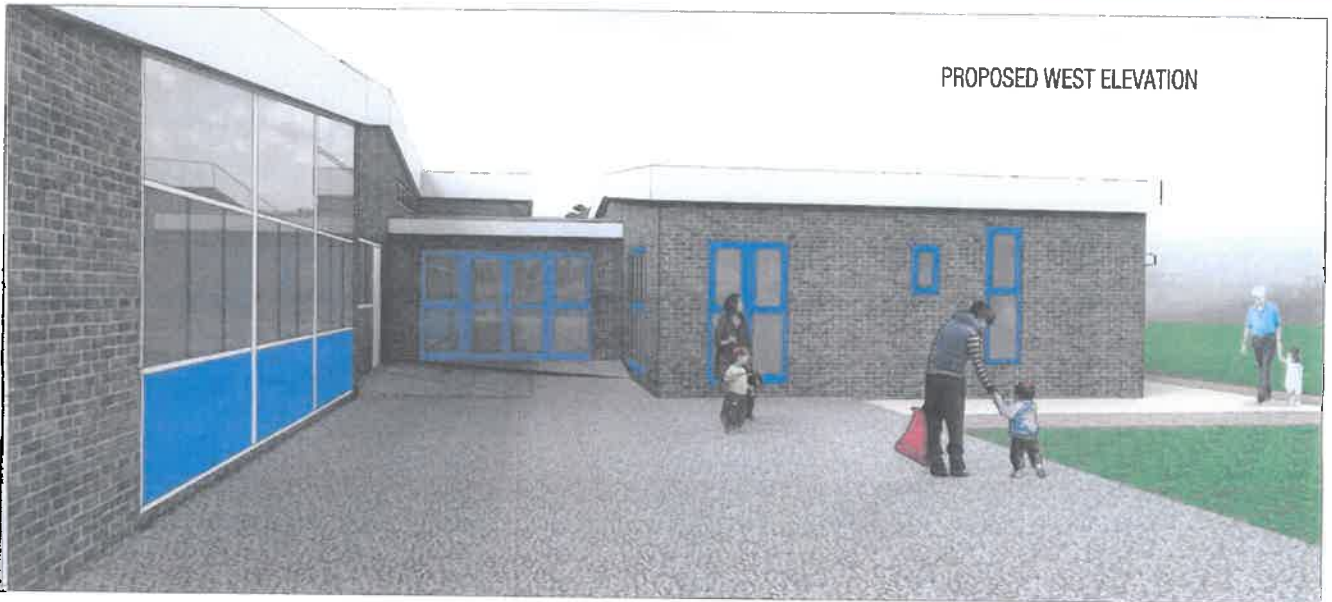

Phoenix Buildings
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 W: www.tlcbc.co.uk

PROPOSED NURSERY at
 BURY & WHITEFIELD JEWISH PRIMARY SCHOOL
 PARR LANE, WHITEFIELD, BURY
 THE SPEAR TRUST
 26 OLD HALL ROAD
 SALFORD M7 4LH
 ELEVATIONS ? PLANG.003 1:200 @ AS SPA February 2014

PROPOSED SOUTH ELEVATION



PROPOSED WEST ELEVATION



PROPOSED EAST ELEVATION



Phoenix Buildings
 Heywood Road
 Manchester M25 1FN

T: 0161 870 3611

E: harry@tlcbc.co.uk
 W: www.tlcbc.co.uk

PROPOSED NURSERY at BURY & WHITEFIELD JEWISH PRIMARY SCHOOL PARL LANE, WHITEFIELD, BURY	
THE SPEAR TRUST 26 OLD HALL ROAD SALFORD M7 4JH	
NO. 1	PLANS/05
TO SCALE @ A3 (S/A)	February 2014

Ward: Radcliffe - West

Item 06

Applicant: Altin Homes

Location: Bankside Mill, Chapelfield, Radcliffe, Manchester, M26 1JF

Proposal: Substitution of plots 3 and 10 to approval no. 56201 - Residential development of 14No. dwellings with associated site access, parking and landscape works.

Application Ref: 57487/Full

Target Date: 11/06/2014

Recommendation: Minded to Approve

It is recommended that this application is Minded to Approve subject to the signing and completion of a deed of variation to link the application to the Section 106 agreement from the previously approved application (56201). Should the agreement not be signed and completed within a reasonable period, it is requested that the application be determined by the Development Manager.

Description

The application site is located off Stand Lane and consists of a mill building. The mill building was previously used manufacturing industrial cotton thread. However, the manufacturing process has ceased at the premises and the site is currently used for storage with ancillary offices. The application site slopes from east to west and from south to north.

There are residential properties to the north of the site and this development has been completed within the last year. Stand golf course is located to the west of the site with a public right of way heading away from the site to the north west. There are further residential developments to the east and south of the application site, accessed from Chapelfield.

Planning permission was granted in July 2013 for the demolition of the existing buildings and the erection of 14 dwellings, The proposed dwellings would be constructed from brick with vertical cladding with a tile roof and would be accessed from Chapelfield.

The proposed development involves the change of house types for plots 3 and 10. The amendments include the provision of a garage to plot 3 and a larger dwelling to plot 10, which would include a two storey rear extension.

Relevant Planning History

50782 - Outline application for residential development 14 houses including the means of access to the site at Bankside Mills, Chapelfield, Radcliffe. Approved with conditions - 22 April 2009

55056 - Application for a new planning permission to replace an extant planning permission, in order to extend the time limit for implementation - outline application for residential development - 14 houses including means of access (application no. 50782) at Bankside Mills, Chapelfield, Radcliffe. Approved with conditions - 22 May 2012.

55923 - Demolition of existing mill and offices and erection of 14 no. dwellings with associated site access, parking and landscape works at Bankside Mill, Chapelfield, Radcliffe. Withdrawn - 10 April 2013. The application was withdrawn so the correct certificate relating to ownership could be served.

55934 - Prior notification of proposed demolition of mill, office and warehouse at Bankside Mill, Chapelfield, Radcliffe. Prior approval required and refused - 6 February 2013.

56090 - Prior notification of proposed demolition of mill, office and warehouse at Bankside

Mill, Chapelfield, Radcliffe. Prior approval required and granted - 26 March 2013.

56201 - Demolition of existing mill and offices and erection of 14 no. dwellings with associated site access, parking and landscape works (resubmission of 55923) at Bankside Mill, Chapelfield, Radcliffe. Approved with conditions - 4 July 2013.

Publicity

The neighbouring properties were notified by means of a letter on 24 April 2014.

1 letter has been received from the occupiers of 29 Stonemere Drive, which has raised the following issues:

- There has been a significant amount of noise and dust coming from the site.
- The rear gardens of Stonemere Drive will be overlooked due to the elevated position of the proposed dwellings.

The objector has been notified of the Planning Control Committee meeting.

Consultations

Traffic Section - Comments awaited and will be reported in the Supplementary Report.

Drainage Section - Comments awaited and will be reported in the Supplementary Report.

Environmental Health - Contaminated Land - No objections, subject to the inclusion of conditions relating to contaminated land.

Public Rights of Way Officer - A public right of way (No. 7 St Johns Radcliffe) abuts the site. Recommend an informative relating to the public right of way.

Unitary Development Plan and Policies

EC2/2	Employment Land and Premises
H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
EN1/1	Visual Amenity
EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN6	Conservation of the Natural Environment
EN6/3	Features of Ecological Value
EN7	Pollution Control
EN7/2	Noise Pollution
EN7/5	Waste Water Management
EN8	Woodland and Trees
EN8/2	Woodland and Tree Planting
RT2/2	Recreation Provision in New Housing Development
HT2/4	Car Parking and New Development
HT4	New Development
HT5/1	Access For Those with Special Needs
SPD1	Open Space, Sport and Recreation Provision
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - The principle of residential development was established with the grant of

planning permission (56201) in July 2013, which is still a valid planning permission. Therefore, the proposed development would be in accordance with Policy H1/2 of the Bury Unitary Development Plan.

Design and layout - The proposed changes to plot 3 include the provision of a garage with a dormer window above the garage door. The proposed dormer would relate to a bathroom and as such, there would be no loss of privacy within the proposed development. The proposed garage would be constructed from brick with a tile roof, which would match the proposed dwellings and the existing dwellings in the locality. Therefore, the proposed development would not be a prominent feature within the streetscene and would be in accordance with Policies EN1/2, H2/1 and H2/2 of the Bury Unitary Development Plan.

The proposed dwelling for plot 10 would be two storeys in height with living accommodation within the roofspace. The main difference from the previously approved house type would be a two storey extension to the rear. The proposed dwelling would be in proportion in terms of size and scale and would include various details, such as headers and cills, pike detail to the front and dormers to the rear elevation to add visual interest to the elevations. The proposed dwelling would be constructed from brick with vertical cladding and a tile roof, which would match the existing and proposed dwellings in the locality. As such, the proposed development would add visual interest to the streetscene and would not be a prominent feature. Therefore, the proposed development would be in accordance with Policies EN1/2, H2/1 and H2/2 of the Bury Unitary Development Plan.

Impact upon surrounding area - The gardens to plots 3 and 10 would not be affected by the proposed changes and would be acceptable in terms of size in relation to the dwellings. There would be space within the rear gardens for bin storage. Therefore, the proposed development would be in accordance with Policies H2/1 and H2/2 of the Bury Unitary Development Plan.

Impact upon residential amenity - SPD6 contains guidance on aspect standards and as such, is relevant to this application.

There would be 19 metres between the rear elevation of the plot 3 and the blank gable of Nos 33 and 35 Stonemere Drive, which are approximately 2 - 3 metres lower than the application site. The proposed development includes the addition of a single storey garage with a bathroom in the roofspace to plot 3. There would be 15.6 metres between the proposed garage and the gable elevation of the existing dwellings on Stonemere Drive. Currently the existing mill building is located hard up to the boundary and the proposed development, including the garage would represent an improvement.

There would be 10.6 metres between the gable of plot 10 and the gable elevation of the existing flats on Chapelfield. The gable elevation of the existing flats is a blank wall and there would be secondary windows in the gable of the proposed dwelling. As such, the proposed development would not have an adverse impact upon the amenity of the neighbouring properties.

Therefore, the proposed development would be in accordance with the aspect distances in SPD6 and would not have an adverse impact upon the amenity of the neighbouring properties.

Highways issues - The proposed development would not affect the access arrangements from the approved scheme. The Traffic Section has no objections in principle, subject to the inclusion of conditions.

Parking - SPD11 states that the maximum parking standards are 2 spaces per 3 bed dwelling and 3 spaces per 4 bed dwelling, which equates to 5 spaces.

The proposed development would provide 3 parking spaces and a garage. The proposed development would have good access to public transport and as such, the level of parking provision would be acceptable. Therefore, the proposed development would be in

accordance with Policy HT2/4 of the Bury Unitary Development Plan and SPD11.

Planning obligations - A deed of variation is required to link the current application to the previous Section 106 agreement for recreation provision in accordance with Policy RT2/2 of the Bury Unitary Development Plan and SPD1.

Response to objectors

The issue of residential amenity has been addressed within the main report.

Statement in accordance with Article 31 Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2012

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Minded to Approve

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered 1270 (PL) 107 E, 1270 (PL) 111, 12070 (PL) 114, 1270 (PL) 11 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. Details/Samples of the (materials/bricks) to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials/bricks shall be used for the construction of the development.
Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.
4. No development shall commence unless and until:-
 - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
 - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
 - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.Reason. To secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
5. Following the provisions of Condition 4 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and

A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

6. All instances of contamination encountered during the development works which do not form part of an approved Remediation Strategy shall be reported to the Local Planning Authority (LPA) immediately and the following shall be carried out where appropriate:

- Any further investigation, risk assessment, remedial and / or protective works shall be carried out to agreed timescales and be approved by the LPA in writing;
- A Site Verification Report detailing the conclusions and actions taken at each stage of the works including validation works shall be submitted to, and approved in writing by, the LPA prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

7. Following the provisions of Condition 4 of this planning permission, where ground gas remediation / protection measures are required, the approved Remediation Strategy must be carried out to the written satisfaction of the Local Planning Authority within approved timescales; and
A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To alleviate any possible risk associated with the production of landfill gas and ground gas in accordance with the recommendations of the Environment Agency and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

8. The demolition of the building hereby approved, shall be undertaken in accordance with the recommendations in the bat survey dated 21 March 2012.
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and Section 11 of the National Planning Policy Framework.

9. Provision for lifetime homes shall be incorporated into the development in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority prior to the development hereby approved commencing. The development shall then be carried out incorporating the measures in accordance with the approved scheme unless otherwise agreed in writing with the Local Planning Authority.

Reason. To ensure that the development is fully accessible to disabled persons pursuant to Policies HT5/1 – Access for Those with Special Needs of the Bury Unitary Development Plan.

10. No development shall commence unless or until a scheme for the disposal of foul and surface water drainage has been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with

the approved details.

Reason. To ensure a satisfactory means of drainage pursuant to Policy EN7/5 - Waste Water Management of the Bury Unitary Development Plan.

11. The car parking indicated on the approved plans shall be surfaced, demarcated and made available for use prior to first occupation of the dwellings hereby approved.
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to Policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan and SPD11 - Parking Standards.
12. The landscaping scheme (plan reference M2149.02E) hereby approved shall be implemented to the written satisfaction of the Local Planning Authority not later than 12 months from the date the building(s) is first occupied. Any trees or shrubs removed, dying or becoming severely damaged or becoming seriously diseased within 5 years of planting shall be replaced by trees or shrubs of a similar size and species to those originally required to be planted to the written satisfaction of the Local Planning Authority.
Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.
13. No development shall commence unless and until full details of measures to provide a temporary diversion of Public Footpath No. 7, St. John's, Radcliffe during the course of the construction of the proposed retaining wall abutting part of the public right of way and a programme of implementation have been submitted to and approved by the Local Planning Authority. The details subsequently approved shall be implemented in accordance with the agreed programme.
Reason. To ensure that adequate provision is made to accommodate users of the adjacent public right of way during construction of the proposed retaining wall pursuant to Policy RT3/4 - Recreational Routes of the Bury Unitary Development Plan.
14. No development shall commence unless and until full details of the proposed highway improvements indicated on the approved plans, comprising the provision of an turning head at the junction of the main site access with Chapelfield, reinstatement of the footpath adjacent to Plot 10, provision of dropped kerbs and road markings opposite Plot 10, replacement of the northerly footway on Chapelfield from Shuttle Street to it's cul-de-sac end and all associated remedial works, have been submitted to and agreed in writing with the Local Planning Authority. The details subsequently approved shall be implemented in accordance with the agreed programme of works.
Reason. To ensure good highway design in the interests of road safety and to maintain the integrity of the adopted highway pursuant to Policy H2/1 - The Form of New Residential Development and Policy H2/2 - The Layout of New Residential Development of the Bury Unitary Development Plan.
15. The visibility splays indicated on the approved plans shall be implemented before the site accesses are brought into use and subsequently maintained free of obstruction above the height of 0.6m.
Reason. To ensure the intervisibility of the users of the site and the adjacent highways in the interests of road safety pursuant to Policy H2/1 - The Form of New Residential Development and Policy H2/2 - The Layout of New Residential Development of the Bury Unitary Development Plan
16. The driveways shall be a minimum hardstanding of 5m measured from the private estate road boundary. The driveways shall be provided prior to first occupation of the dwellings and thereafter maintained.
Reason. To allow adequate space to maintain a vehicle clear of the highway in the interests of road safety pursuant to Policy H2/1 - The Form of New Residential

Development and Policy H2/2 - The Layout of New Residential Development of the Bury Unitary Development Plan

17. The turning facilities within the curtilage of the site indicated on the approved plans (or similar alternative provision that enables construction traffic to enter and leave the site in a forward gear which shall be submitted to and approved in writing with the Local Planning Authority) shall be provided before construction of the dwellings is commenced and shall subsequently be maintained free of obstruction at all times

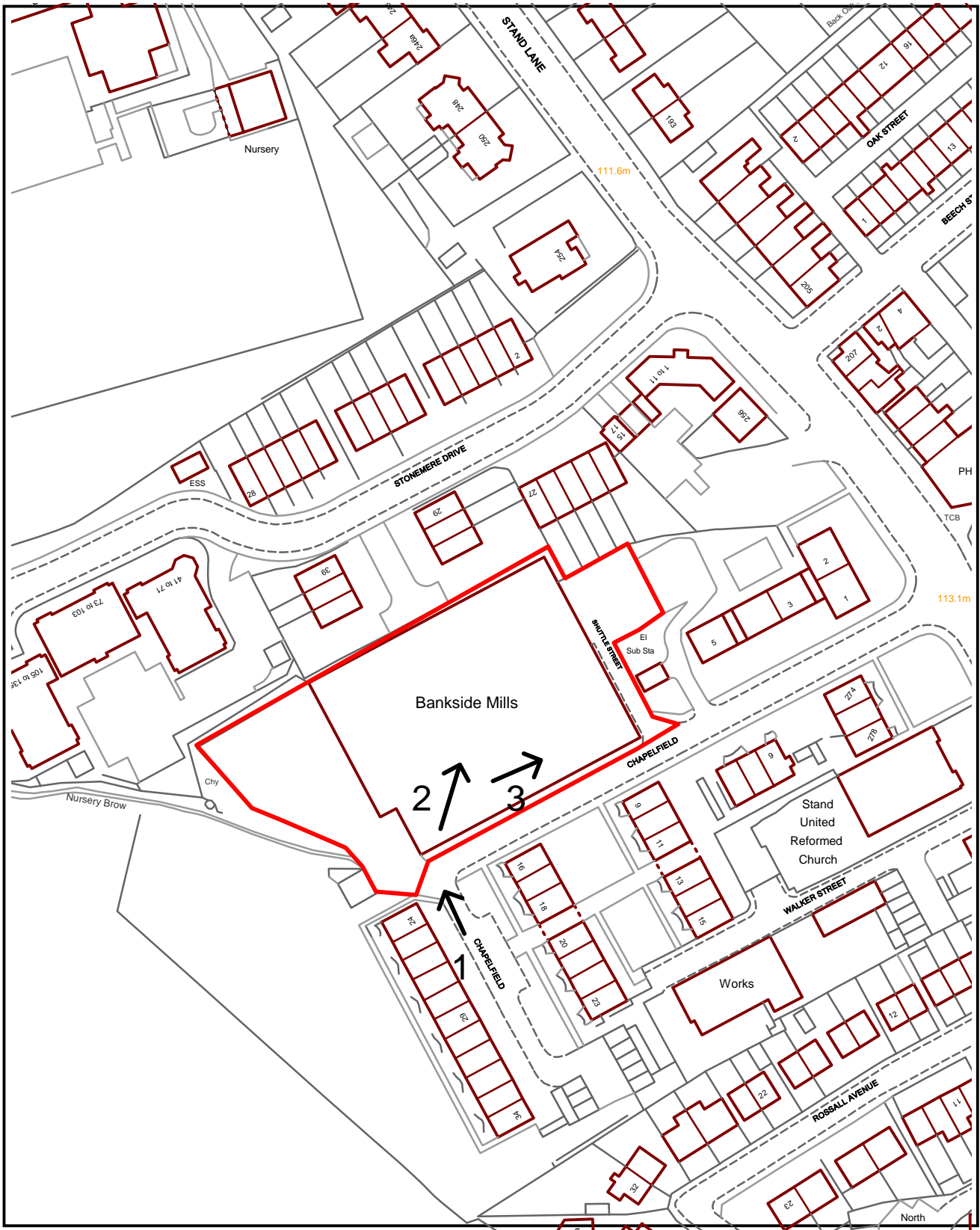
Reason. To minimise the standing and turning movements of vehicles on the highway in the interests of road safety pursuant to Policy H2/1 - The Form of New Residential Development and Policy H2/2 - The Layout of New Residential Development of the Bury Unitary Development Plan.

18. Before the development is commenced, details shall be submitted to and approved by the Local Planning Authority to cover measures to ensure that all mud and other loose materials are not carried on the wheels and chassis of any vehicles leaving the site and measures to minimise dust nuisance caused by the operations. The approved details shall be implemented and maintained thereafter during the period of construction.

Reason. To ensure that the adopted highways are kept free of deposited material from the ground works operations pursuant to Policy H2/2 - The Layout of New Residential Development of the Bury Unitary Development Plan.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 57487

**ADDRESS: Bankside Mill
Chapelfield
Radcliffe**

Planning, Environmental and Regulatory Services 1:1250

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57487

Photo 1



Photo 2

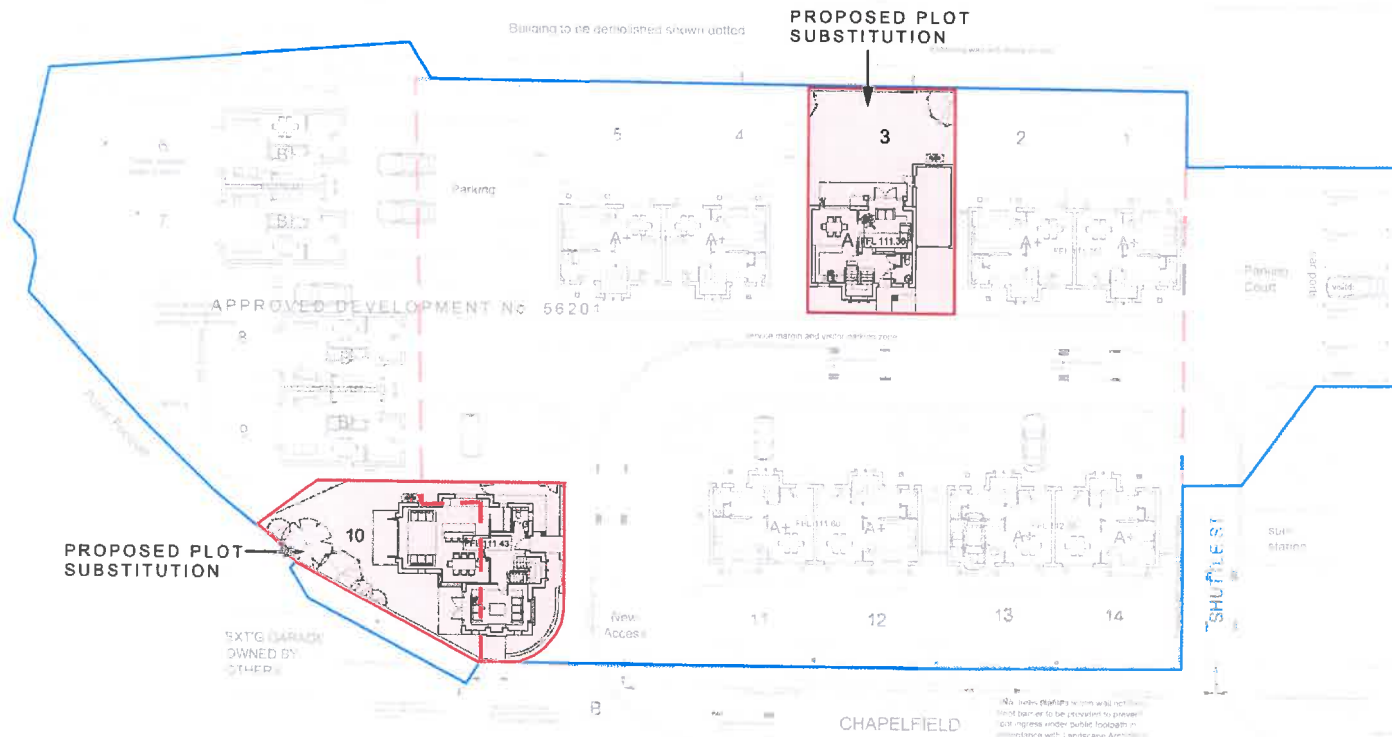


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Photo 3

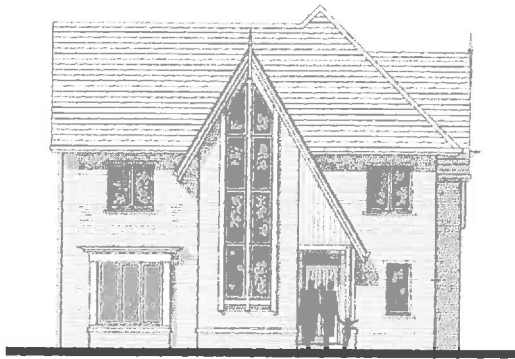


Scale Bar 1:200



— Denotes approved site (app. no. 56201)

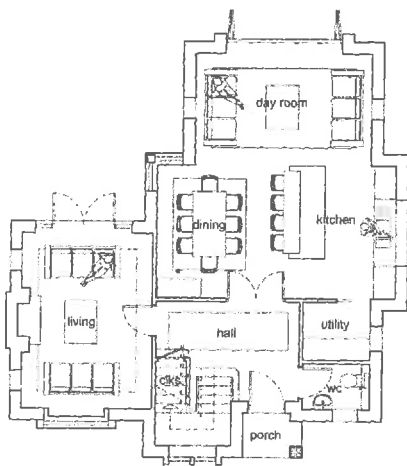
— Denotes Plot Substitutions



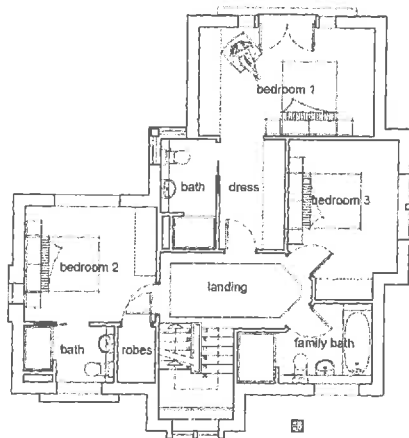
front



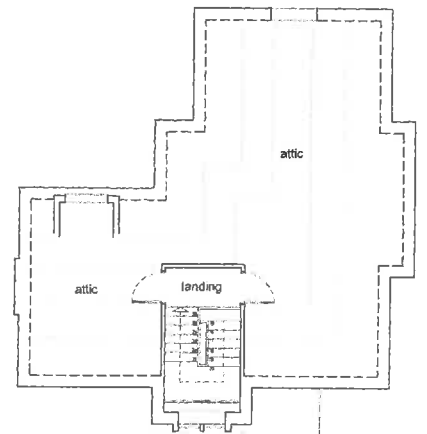
side



ground



first



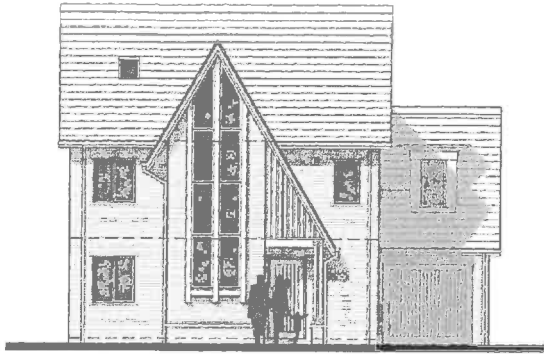
roof



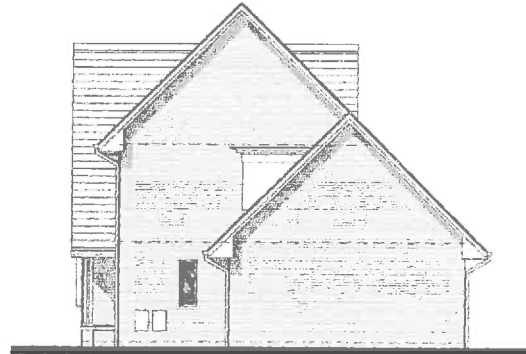
rear



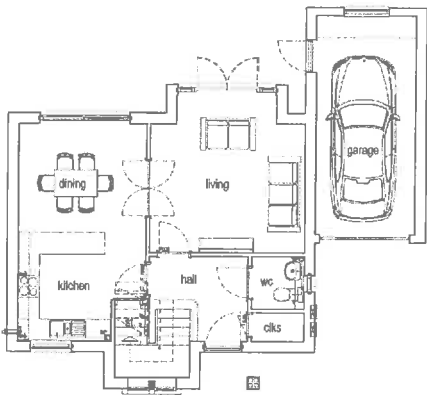
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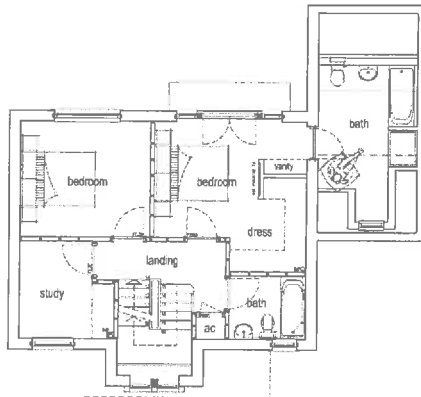
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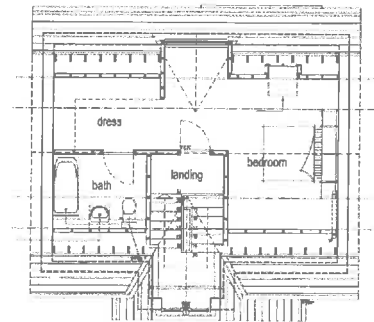
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ground



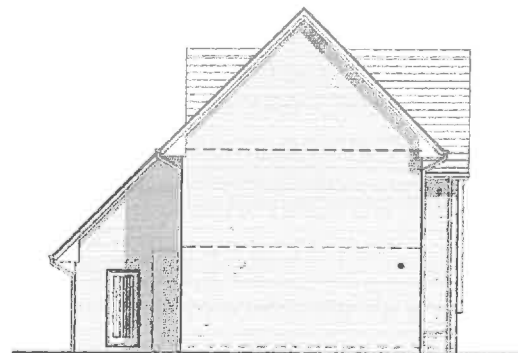
first



second



rear



side

Ward: Radcliffe - East

Item 07

Applicant: Mr & Mrs Walker

Location: Spenside, Bury and Bolton Road, Radcliffe, Manchester, M26 4LA

Proposal: Erection of 4 no. detached dwellings

Application Ref: 57508/Full

Target Date: 18/06/2014

Recommendation: Minded to Approve

The application has been advertised as a Departure from the Bury Unitary Development Plan.

It is recommended that this application is Minded to Approve subject to the signing and completion of a Section 106 agreement for recreation provision in accordance with Policy RT2/2 of the adopted Unitary Development Plan and SPD1. Should the agreement not be signed and completed within a reasonable period, it is requested that the application be determined by the Development Manager.

Description

The application refers to land located off Bury and Bolton Road and accessed via a private unadopted road. The site itself comprises Spendene, a single residential dwelling with detached garage to the southern part, stables, timber outbuildings and paddock to the east arranged around a concrete yard and a paddock to the west. Beyond the boundary of the site to the south is open land known as Spen Moor which has extant outline planning approval for 191 dwellings. To the north are detached houses Redcott and Spendene, with a cul de sac of residential properties on Spen Fold.

There are four trees to the centre of the site and 9 along the eastern boundary which are the subject to a TPO. Other hedgerows and trees are planted in and around the site and boundary treatment comprises a low timber post and rail fence.

The application seeks to develop the site for the erection of 4 detached 4/5 bed dwellings. Each property would have an integral garage and driveway with private amenity space. External elevations would be facing brickwork and slate tiled roofs with art stone band course detailing. Plots 1 and 2 would be sited to the west of Spendene in the paddock area, with plots 3 and 4 to the east on the footprint of the existing stables and paddock area.

The private access to Spendene would be retained and utilised for the development with turning areas and new driveways provided to each property. A dedicated hardstanding area for bins would be provided adjacent to a turning head further down the access road towards the Bury and Bolton Road on refuse collection days.

To facilitate the development, it is proposed to remove 4 trees, one of which would be a TPO tree, with the remaining trees on site retained. Replacement planting and a landscaping scheme has been proposed.

Relevant Planning History

43985 - Extension of existing bungalow; erection of new garage and stables - Approve with Conditions 18/03/2005

55003 - Outline - Residential development of 191 dwellings, creation of ecological enhancement ponds and access off Bury and Bolton Road - Approved 27/11/2012

Publicity

33 letters sent on 29/4/2014 to properties at Nos 1,2,3,2,4,6,8 Kensington Drive; ,5,7 Spen Fold; 1,2, and Middle Spen Moor; Spendene, Redcott, Higher Spen Moor Farm, Higher Spen Farm Cottage Bury Bolton Road; 565, 567, 569, 571, 573, 575, 581, 583, 588, 590,

592, 594, 596, 598, 600, 602, Peel Holdings The Trafford Centre.

Letter of support received from No 7 Spen Fold with the following comment:

- We support the submitted plans for this development. We think that the plans are very well thought out and most importantly have thought about the neighbours not being overlooked and the site not over developed. We would not be favour if the site was redesigned and the number or size of houses altered.

Comment received from No 5 Spen Fold with the following issue raised:

- Concerns about the water culvert to the rear of my property and the proposed new development. Require assurance that this will be improved and a detailed explanation of the proposal for the water culvert.

Objection from No 2 Spen Fold withdrawn.

Those who have expressed an interest have been informed of the Planning Control Committee meeting.

Consultations

Traffic Section - No objection subject to conditions.

Drainage Section - No objections in principle. Further comments and recommended conditions will be reported in the Supplementary Agenda.

Environmental Health Contaminated Land - No objection subject to conditions.

Waste Management - No objection.

Greater Manchester Ecology Unit - No objections subject to the inclusion of conditions relating to ecological mitigation measures.

Minerals and Waste Planning Unit (Urban Vision Partnership Ltd) - No objection. Prior mineral extraction may be considered inappropriate

Unitary Development Plan and Policies

NPPG	National Planning Policy Guide
H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
EN1/1	Visual Amenity
EN1/2	Townscape and Built Design
EN6	Conservation of the Natural Environment
EN6/3	Features of Ecological Value
EN8/2	Woodland and Tree Planting
EN9	Landscape
OL1	Green Belt
OL1/2	New Buildings in the Green Belt
OL2/1	Development on Other Protected Open Land
HT2/4	Car Parking and New Development
HT4	New Development
RT2/2	Recreation Provision in New Housing Development
SPD1	Open Space, Sport and Recreation Provision
SPD6	Supplementary Planning Document 6: Alterations & Extensions
EN6/2	Sites of Nature Conservation Interest LNR's

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Green Belt Principle - With regard to the change of use of land in the Green Belt, the proposal would partly be in existing residential use, but the majority would be on land currently in use for stables and paddocks, which are outdoor recreation uses. Therefore, the proposal involves a change of use from outdoor recreation to residential and as such would be treated as inappropriate development in the Green Belt by virtue of this change of use not being covered under para 90 of the NPPF.

New buildings are not permitted in the Green Belt unless they meet the exceptions in para 89 of the NPPF. Residential development does not meet any of the exceptions and as such the proposed houses are also inappropriate development.

Inappropriate development is by definition harmful to the Green Belt and should not be approved except in Very Special Circumstances (VSC). The applicant has put forward three material considerations in favour of the development which forms their case for VSC:

- 1. The approved residential development at Spen Moor to the south** - The application site is an isolated piece of Green Belt land which is sandwiched between the established residential area directly to the north and beyond Bury and Bolton Road, and the land to the east, south and west is the subject of an extant planning permission for outline residential development for 191 houses. The application site is "isolated" Green Belt land, which could essentially be further disconnected from the surrounding land uses by the Spen Moor development. As such, this is a material consideration and would be accepted as a Very Special Circumstance.
- 2. Previously developed site within an established residential area** - This is not a consideration that is unique to form part of the case for VSC for justifying inappropriate development in the Green Belt. Furthermore, whilst the site would theoretically be surrounded by residential uses, the site would not be considered as wholly brownfield land as stables and paddocks do not come under the definition in national planning policy. As such, this is not a consideration that is unique to form part of the case for VSC.
- 3. Sustainable development and deliverable residential development** - This is not a unique consideration for justifying inappropriate development in the Green Belt and therefore this should not form part of the VSC.

In view of the VSC case put forward by the applicant, it is considered that whilst the proposed residential development would be inappropriate development in the Green Belt, the material consideration of the approved residential development at Spen Moor constitutes VSC which would clearly outweigh the harm which would be caused to the Green Belt by reason of inappropriateness.

Housing Principle - Following revocation of the North West Regional Spatial Strategy on 20 May 2013, there is no statutory housing target for Bury. Work is in progress on Bury's Local Plan - "The Core Strategy", which will bring forward a new statutory housing target. It is currently proposed that the new housing target in the Local Plan should be set at 400 dwellings per annum, which is currently timetabled to be adopted in 2014.

In the meantime, the National Planning Policy Framework should be treated as a material planning consideration and it emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and long term. There is a particular emphasis, as in previous national planning guidance, to identify a rolling five year supply of deliverable housing land.

UDP Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure, the need to avoid the release of peripheral open land unless it can be shown to be consistent with urban regeneration, and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

UDP Policies H2/1 - The Form of New Residential Development and H2/2 - The Layout of New Residential Development takes into consideration factors relating to the impact of developments on residential amenity, the density and character of the surrounding area and the position and proximity of neighbouring properties. Regard is also given to materials, design and form of developments, parking provision and access, landscaping and protection of trees/hedgerows and external areas.

Supplementary Planning Document 6 - Alterations and Extensions to Residential Properties provides useful guidance in terms of acceptable aspect standards between dwellings.

The site is located directly adjacent to residential properties to the north, and would not extend beyond the existing residential curtilage of the Spenside dwelling. There is existing infrastructure in place to support the additional houses and the layout demonstrates that the site could satisfactorily accommodate the development in relation to surrounding properties, access and parking.

As such, the principle is in general accordance with local planning policy H1/2 - Further Housing Development and complies with national planning policy.

Layout - Although the site is relatively large, there are a number of constraints which include the trees subject to a TPO, the existing access road and the property Spendene. These have dictated both the density of the development as well as the siting of the houses which has resulted in a development comprising a lesser dense scheme of modest sized family accommodation, which would be arranged around the trees as far as possible and utilise the land in the applicant's ownership to the best potential.

Plots 1 and 2 would be positioned in the paddock to the west of Spendene, with plots 3 and 4 to the east of the house, utilising the paddock and stabling area. Each dwelling would have a double driveway and garden with bin store areas. The private access would be extended to run either side of Spendene to serve the new properties, and designed to have the least impact as possible on the trees.

The scheme would also take into account the position of the existing properties and given the arrangement and distances away, the siting of the new houses would respect the privacy of these properties.

The low density approach to the site would also ensure that the existing access out onto Bury and Bolton Road would not be intensified to such a degree to cause concern for the existing or future occupiers, as well as satisfying the highways team.

A communal point for bins on collections days would be provided adjacent to the turning area on the access lane and the waste management team have not raised any issue with this been consulted and have not raised any issue with this arrangement.

As such, the proposed layout is considered to be acceptable and would comply with UDP Policies H2/1 - The Form of Residential Development and H/2 - The Layout of New Residential Development.

Design and appearance - The development would comprise 4 new dwellings, each 2 storey detached with 4/5 bedrooms. Three house types are proposed on similar design themes with the aim of delivering modern family sized accommodation. Elevations would be constructed of facing brick work, grey slate roof tiles and art stone heads and cills to light oak framed window fittings. Materials to be agreed would be subject to a planning condition. In terms of design the proposed houses are considered to reflect the character, context, scale and massing of Spenside and the properties to the north. Gardens would be landscaped and bounded at the rear with a 1.2m timber post and rail fence which would integrate with the existing site boundary. The newly created access to the properties would replicate the existing gravel surfacing, which would lead to permeable brick paved driveways.

Whilst the site is located off the main road and generally out of public view, the design and appearance of the properties are considered to reinforce and reflect the general character of the residential area and as such be in compliance with EN1/1 - Visual amenity, EN1/2 - Townscape and Built Design and H2/1 - The Form of New Residential Development.

Impact upon residential amenity - SPD 6 advises separation distances between properties and habitable room windows, with 20m separation sought to be maintained between habitable room windows.

There would be a separation distance of more than 20m from plots 1 and 2 to Redcott and Spendene respectively. Plot 3 would be separated by 21.5m from No 7 Spen Fold and the nearest elevation of Plot 4 to No 7 would have a blank gable wall and a separation distance of 20.8m, with 27.5m separation from the nearest habitable room window. Both these plots would be orientated such that there would not be a direct relationship to the existing houses and therefore no overlooking or privacy issues.

In terms of the relationship to Spendene, aspect standards would be achieved.

The scheme would therefore comply with UDP Policies H2/1 - The Form of New Residential Development and H2/2 - The Layout of New Residential Development and SPD6.

Parking and access - Access to the new properties would be via the existing private lane with improvements made to the junction with Bury and Bolton Road including a kerbed radius and resurfacing. A turning head would also be provided along the access road. Whilst the development would result in more vehicles using this access from Bury and Bolton Road, it is considered 4 additional houses would not result in significantly higher levels of traffic to and from the area.

Integral garages and double driveways to each property would ensure adequate in-curtilage parking would be provided.

The Traffic section has no objection to the proposed development subject to the recommended improvements and the submission of details for the provision of construction traffic, which would be secured by conditions.

As such, the proposals would comply with HT2/4 - Car Parking and New Development, HT6/2 - Pedestrian/Vehicular Conflict and H2/2 - The Layout of New Residential Development.

Trees - The development would result in the removal of two trees, one under a TPO, which is located centrally within the site. None of these trees have been categorised as being high quality or of significant amenity value. All other trees would be retained on site and would be subject to protection measures during construction works.

A landscaping scheme has been submitted which proposes replacement tree planting as well as a new hedgerow along the southern boundary. GMEU are satisfied with the proposals to support the loss of bird nesting habitat and the extent of mitigation planting, both of which would be confirmed by condition.

As such, the proposals are considered to be acceptable and would comply with EN1/2 - Townscape and Built Design, H2/2 - The Layout of New Residential Development and EN8/2 - Woodland and Tree Planting.

Ecology - There are a number of potential ecological constraints associated with this development, the most significant being the proximity to the possible great crested newt breeding pond at Spen Moor. Other ecological issues include nesting birds, invasive species, bats, the loss of two mature trees and ecological mitigation. An Ecological Assessment has been submitted and GMEU have been consulted on the application.

Great Crested Newts - The developer accepts the presence of great crested newts and in consultation with GMEU has proposed reasonable avoidance measures (RAMs) as opposed to applying for a license. The GMEU accepts that the scale of the development is such that it is theoretically feasible to apply RAMs to this development, providing they are particularly detailed and closely monitored. The applicant's ecology consultant has provided a RAM statement and in a revised report has detailed safeguards and measures with which the GMEU are satisfied. A condition has been recommended that the detailed RAMs are put in place prior to any works on site and during the development.

Bats - Two mature trees assessed as bat roosting potential would be lost as a result of the development. The survey identified that there were no obvious roosts. GMEU are satisfied that the overall risk is low, but recommend a condition that a precautionary aerial assessment should occur prior to the felling of the trees.

Nesting birds - Potential bird nesting habitat would be lost as a result of the development. A condition to restrict vegetation removal would be applied unless a detailed survey to confirm there are no bird nests present is provided to the LPA.

Invasive species - Two species listed under Schedule 9 part 2 of the Wildlife and Countryside Act 1981 (as amended) were identified during the ecological assessment. The timing of the survey was such that species such as Himalayan balsam may have been missed. Whilst this species is known to occur on the adjacent land along the Brook immediately to the east, the risk of heavy infestation is however low as the fields are grazed with the balsam are likely to be restricted to the hedgerows. Therefore to survey the area, including a method statement detailing avoidance, control and eradication measures will be included as a condition.

Ecological mitigation - In order to ensure no net loss of biodiversity as recommended under section 109 of the NPPF ecological mitigation should occur for the loss of the two mature trees, bird nesting habitat and potential bat roosting habitat and potentially for loss of great crested newt terrestrial. A new hedge is proposed along the southern boundary of the development which would be adequate for loss of bird nesting habitat in the medium to long term. The provision of bird and bat boxes in the interim has been recommended by the ecology consultant. Replacement trees would also be required. As such, it is considered that a landscape and ecological enhancement plan to be submitted for approval would be appropriate to secure sufficient ecological enhancement of the site.

Response to objector - It is proposed to utilise the existing drainage connection within the site ownership of the applicant. The drainage engineer has no objections in principle to the proposed development. A condition which will be finalised in the Supplementary Agenda, will seek details of a drainage scheme to be submitted for approval before any works could commence.

Statement in accordance with Article 31 Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2012

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Minded to Approve

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.

Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.

2. This decision relates to drawings 14/1050/100 - Location Plan; 13/1050/101 Existing site plan; 13/1050/201 Proposed site plan; TRI-11152-01, TRI-1152-02 TRI-1152-03 Existing site survey; M98/BL/LAND/01A Landscape Planting Plan; Planning Design and Access Statement 16th April 2014; Geoenvironmental Site Investigation Report April 2014 E0040 IW; Aboricultural Method Statement and Implications Assessment 7 April 2014 ref TRE/SBBR; Ecological Assessment TEP Report Ref:4400.001 April 2014 Version 2.0 and the development shall not be carried out except in accordance with the drawings hereby approved.

Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.

3. No development shall commence unless and until:-
- A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
 - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
 - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

4. Following the provisions of Condition 3 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

5. Any soil or soil forming materials brought to site for use in garden areas, soft landscaping, filling and level raising shall be tested for contamination and suitability for use on site. Proposals for contamination testing including testing schedules, sampling frequencies and allowable contaminant concentrations (as determined by appropriate risk assessment) and source material information shall be submitted to and approved in writing by the Local Planning Authority prior to any soil or soil forming materials being brought onto site, and;
- The approved contamination testing shall then be carried out and validatory evidence (soil descriptions, laboratory certificates, photographs etc) submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

6. All instances of contamination encountered during the development works which do not form part of an approved Remediation Strategy shall be reported to the

Local Planning Authority (LPA) immediately and the following shall be carried out where appropriate:

- Any further investigation, risk assessment, remedial and / or protective works shall be carried out to agreed timescales and be approved by the LPA in writing;
- A Site Verification Report detailing the conclusions and actions taken at each stage of the works including validation works shall be submitted to, and approved in writing by, the LPA prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

7. Following the provisions of Condition 3 of this planning permission, where ground gas remediation / protection measures are required, the approved Remediation Strategy must be carried out to the written satisfaction of the Local Planning Authority within approved timescales; and
A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.
Reason. To alleviate any possible risk associated with the production of landfill gas and ground gas in accordance with the recommendations of the Environment Agency and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
8. No development, earthworks or machinery shall be brought on or carried out on the site until all fencing, signage and other stated measures have been implemented in accordance with the approved reasonable avoidance measures as detailed in the Revised Ecological Assessment (TEP Report Ref: 4400.001) April 2014 Version 2.0. All measures within the reasonable avoidance measures method statement shall be carried out throughout the development in accordance with the approved details.
Reason. To ensure there is no undue harm upon any ecologically protected species pursuant to Bury Unitary Development Plan Policy EN6/3 - Features of Ecological Value and Chapter 11 - Conserving and Enhancing the Natural Environment of the National Planning Policy Framework.
9. Prior to the felling of any category two mature trees, a precautionary aerial bat assessment shall be carried out by a suitably experienced person and the results supplied to and agreed in writing by the Local Planning Authority.
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and Section 11 of the National Planning Policy Framework.
10. No works shall be carried out to the trees or shrubs between 1st March and 31st August inclusive in any year unless a detailed bird nest survey by a suitably experienced ecologist has been carried out immediately prior to clearance and written confirmation provided that no bird nests are present, to the Local Planning Authority.
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment and section 1 of the Wildlife and Countryside Act 1981, as amended.

11. Prior to any earthworks, a survey for invasive plant species (as listed under schedule 9 part 2 of the Wildlife and Countryside Act 1981) including Japanese knotweed and himalayan balsam will occur at an appropriate time of year and the finding supplied to and approved by the Local Planning Authority. Prior to any earthworks, a method statement detailing avoidance, control and eradication measures should be supplied for mobrieta, variegated yellow archangel and any other species located during the survey shall be supplied to and approved by the Local planning Authority. The approved survey and statements shall be carried out in accordance with the approved details only.
Reason. To ensure that the site is free from invasive plant species in the interest of UDP Policy EN9 - Landscape and pursuant to the Countryside and Wildlife Act 1981 as amended.
12. No development shall commence until a landscape and ecological enhancement plan (including measures to mitigate for the loss of mature trees and bird nesting habitat) has been submitted to and approved by the Local Planning Authority. The approved plan shall be implemented in accordance with the approved details.
Reason. In order to ensure no loss of ecological importance and biodiversity pursuant to UDP Policy EN6 - Conservation of the Natural Environment and chapter 11 - Conserving and enhancing the natural environment of the NPPF.
13. The development shall be carried out in accordance with the tree protection measures detailed in the Arboricultural method Statement dated 7 April 2014 ref TRE/SBBR. The development shall not commence unless and until the measures required by that scheme have been implemented and all measures required by the scheme shall continue until the development has been completed.
Reason. To avoid the loss of trees which are of amenity value to the area pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.
14. The development hereby approved shall not be first occupied unless and until the access improvements at the junction of the site access with Bolton Road and on the private access road to form a passing place and turning head to the north of the gated entrance to the site indicated on approved plan reference 13/1050/201 have been implemented in full to the written satisfaction of the Local Planning Authority.
Reason. To ensure good highway design in the interests of road safety and to maintain the integrity of the adopted highway pursuant to Bury Unitary Development Plan Policies H2/2 – The layout of New Residential Development and HT6/2 – Pedestrian/Vehicular Conflict.
15. The turning facilities indicated on approved plan reference 13/1050/201 (or similar alternative provision that enables construction traffic to enter and leave the site in a forward gear agreed in writing with the Local Planning Authority) shall be provided before construction of the dwellings is commenced and shall subsequently be maintained free of obstruction at all times.
Reason. To minimise the standing and turning movements of vehicles on the highway in the interests of road safety pursuant to Bury Unitary Development Plan Policies H2/2 – The layout of New Residential Development and HT6/2 – Pedestrian/Vehicular Conflict.
16. The bin collection hardstanding area indicated on approved plan reference 13/1050/201 shall be provided before the dwellings hereby approved are first occupied and shall subsequently be maintained thereafter for this use.
Reason. To ensure adequate off-highway refuse collection facilities are provided, in the interests of pedestrian safety pursuant to Bury Unitary Development Plan Policies H2/2 – The layout of New Residential Development and HT6/2 – Pedestrian/Vehicular Conflict.
17. The Developer, within one week of the commencement of development, shall

ensure that there is provision to be made for the parking on site of operatives' and construction vehicles together with storage on site of construction materials. The provision shall be retained and used for the intended purpose for the duration of the construction period and that area shall not be used for any other purposes other than the parking of vehicles and storage of construction materials respectively.

Reason. To ensure adequate off street car parking and materials storage provision for the duration of the construction period in the interests of road safety pursuant to Bury Unitary Development Plan Policies HT 4 - New Development.

18. Before the development is commenced, details shall be submitted to and approved by the Local Planning Authority to cover measures to ensure that all mud and other loose materials are not carried on the wheels and chassis of any vehicles leaving the site and measures to minimise dust nuisance caused by the operations. The approved details shall be implemented and maintained thereafter during the period of construction.

Reason. To ensure that the adopted highways are kept free of deposited material from the ground works operations pursuant to Bury Unitary Development Plan Policy EN1/2 - Townscape and Built Design.

19. The car parking indicated on the approved plans shall be surfaced, demarcated and made available for use prior to the first occupation of the dwellings hereby approved.

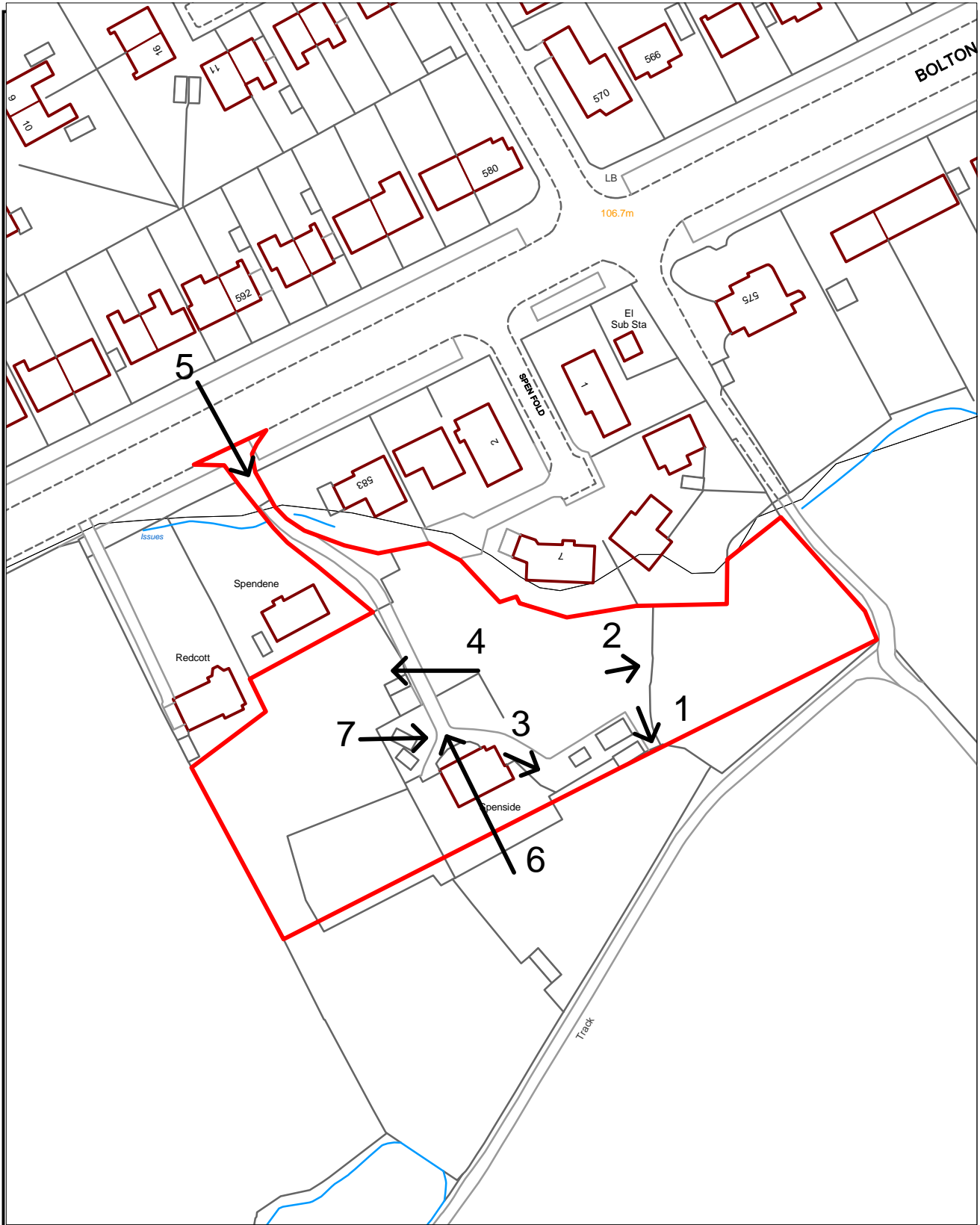
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.

20. Details/Samples of the materials, bricks, tiles to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials/bricks/tiles shall be used for the construction of the development.

Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 57508

**ADDRESS: Spenside, Bury & Bolton Road
Radcliffe**

Planning, Environmental and Regulatory Services 1:1250

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57508

Photo 1



Photo 2



57508

Photo 3



Photo 4



57508

Photo 5



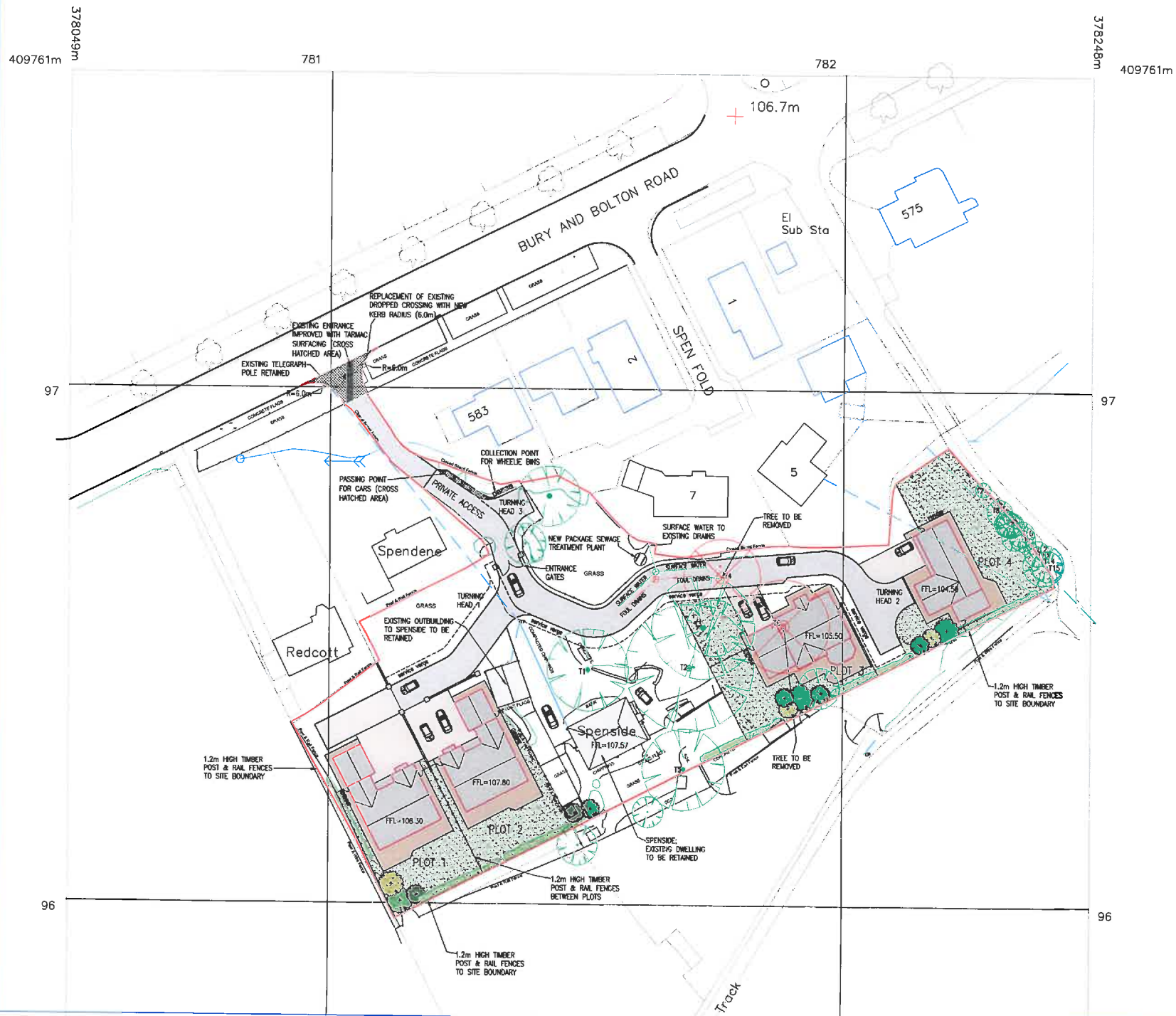
Photo 6



57508

Photo 7





- NOTES--
- *TREE TO BE RETAINED
 - *TREE TO BE REMOVED. SCHEME OF COMPENSATORY PLANTING TO BE PREPARED.
 - *NOTE: REFER TO TREE SURVEY REPORT BY MULBERRY TREE MANAGEMENT CONSULTANTS (TMC) FOR IDENTIFICATION OF SPECIES, SIZE & CONDITION.
 - NATIVE TREE PLANTING & HEDGEROW TO SITE BOUNDARY IN ACCORDANCE WITH RECOMMENDATIONS BY TEP ECOLOGICAL CONSULTANTS AND MULBERRY TMC.
 - NEW DWELLINGS TO BE DETACHED TWO STOREY HOMES WITH 4/5 BEDROOMS.
 - EXISTING BUILDINGS.
 - EXISTING MANHOLE
 - INLET
 - SURFACE WATER
 - TOWN DRAINS
 - SERVICE WATER
 - Foul DRAIN
 - EXISTING SEPTIC TANK TO BE REPLACED WITH PACKAGE SEWAGE TREATMENT PLANT. SURFACE WATER & TREATED WATER FROM TREATMENT PLANT TO DRAIN TO EXISTING DRAIN CONNECTION.
 - PROPOSED DRAINAGE CONNECTION
 - SEPARATE WHEELED BINS FOR GENERAL WASTE, GLASS & PLASTIC, PAPER AND GARDEN WASTE.

Amendments

Title
RESIDENTIAL DEVELOPMENT TO LAND AT SPENSIDE, BURY & BOLTON ROAD, BURY--

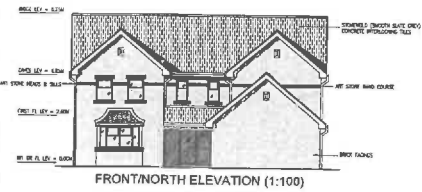
Client
MR & MRS WALKER

Dwg. No.
13/1050/201 - PROPOSED SITE PLAN

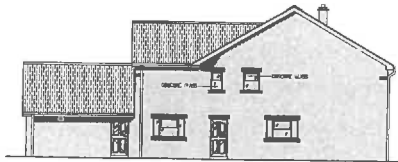
Date	Drawn By	Scale	Drawn by	Status
19.08.13	JPE	A2@1:500	JPE	ISSUE

JPE CONSULTANCY
ARCHITECTURAL DESIGN & PLANNING
8 Woodland Close, Redditch, Warwickshire, B97 5JY
Telephone 07579 627 588 Fax 07579 627 589

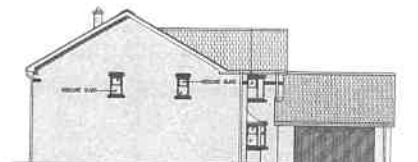
PLOT 1 RESIDENTIAL DEVELOPMENT AT SPENSIDE-



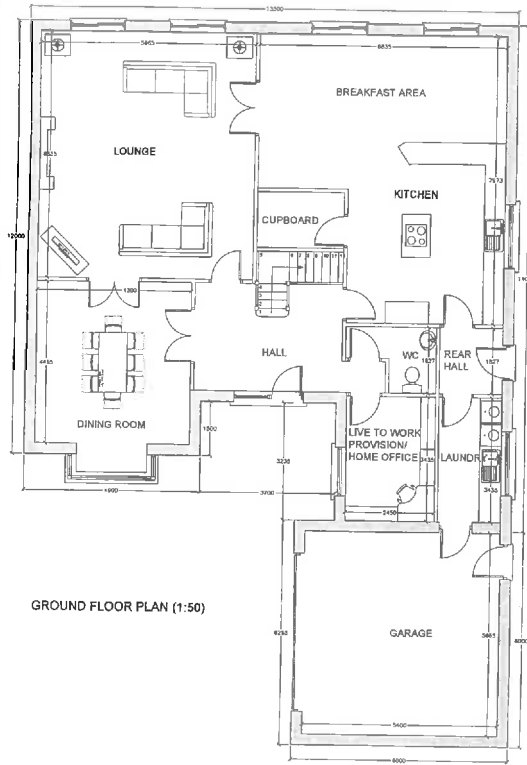
FRONT/NORTH ELEVATION (1:100)



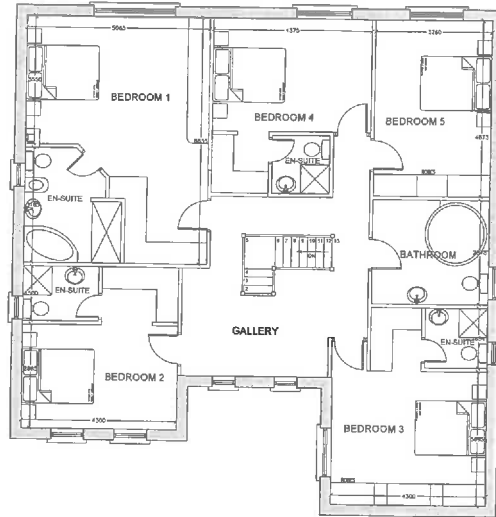
SIDWEST ELEVATION (1:100)



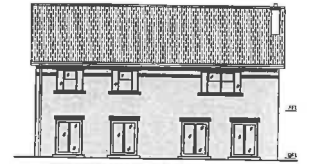
SIDE/EAST ELEVATION (1:100)



GROUND FLOOR PLAN (1:50)



FIRST FLOOR PLAN (1:50)



REAR/SOUTH ELEVATION (1:100)

NOTES-

Overall Floor Area (GFA)
 Ground Floor = 125.8 sqm (1,342 sq ft)
 First Floor = 153.1 sqm (1,650 sq ft)
 Total Ground Floor Area = 279.5 sqm (2,992 sq ft)

ALL ELEMENTS SHOWN UNLESS OTHERWISE SPECIFIED TO BE IN ACCORDANCE WITH THE NOTES.

RESIDENTIAL DEVELOPMENT AT SPENSIDE, BURY AND SOLTON ROAD, BURY-

MR & MRS WALKER

14/1050/2014/PLANS - PLOT 1

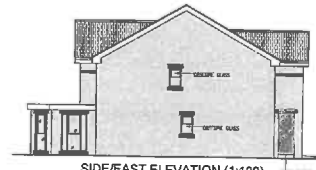
04.03.2014 Plot Scale: A1B1.50 Drawn by: JPE Status: ISSUE

JPE CONSULTANCY ARCHITECTURAL DESIGN & PLANNING

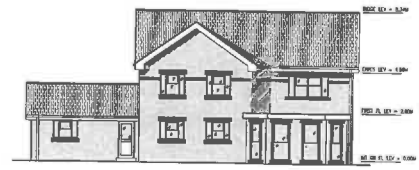
PLOT 3 RESIDENTIAL DEVELOPMENT AT SPENSIDE-



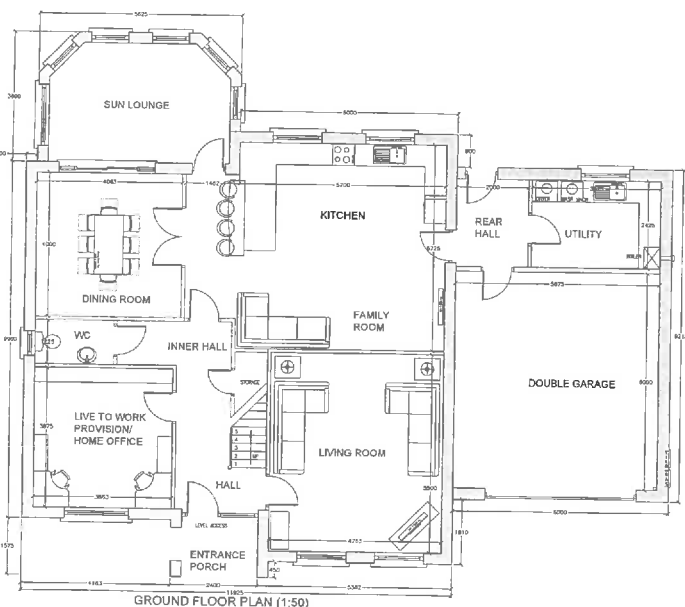
FRONT/NORTH ELEVATION (1:100)



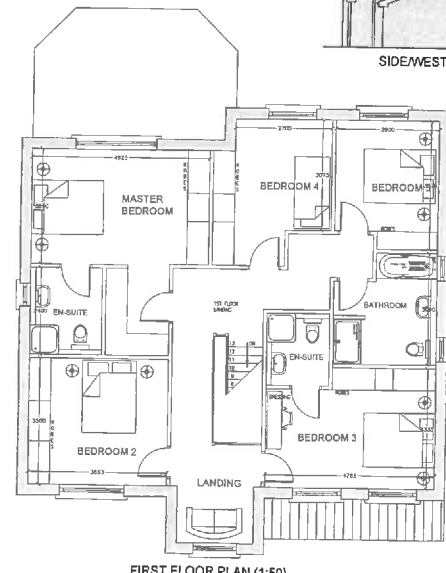
SIDE/EAST ELEVATION (1:100)



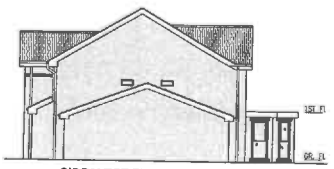
REAR/SOUTH ELEVATION (1:100)



GROUND FLOOR PLAN (1:50)



FIRST FLOOR PLAN (1:50)



SIDWEST ELEVATION (1:100)

NOTES-

Overall Floor Area (GFA)
 Ground Floor = 187.7 sqm (2,038 sq ft)
 First Floor = 118.8 sqm (1,280 sq ft)
 Total Ground Floor Area = 306.5 sqm (3,318 sq ft)

ALL ELEMENTS SHOWN UNLESS OTHERWISE SPECIFIED TO BE IN ACCORDANCE WITH THE NOTES.

RESIDENTIAL DEVELOPMENT AT SPENSIDE, BURY AND SOLTON ROAD, BURY-

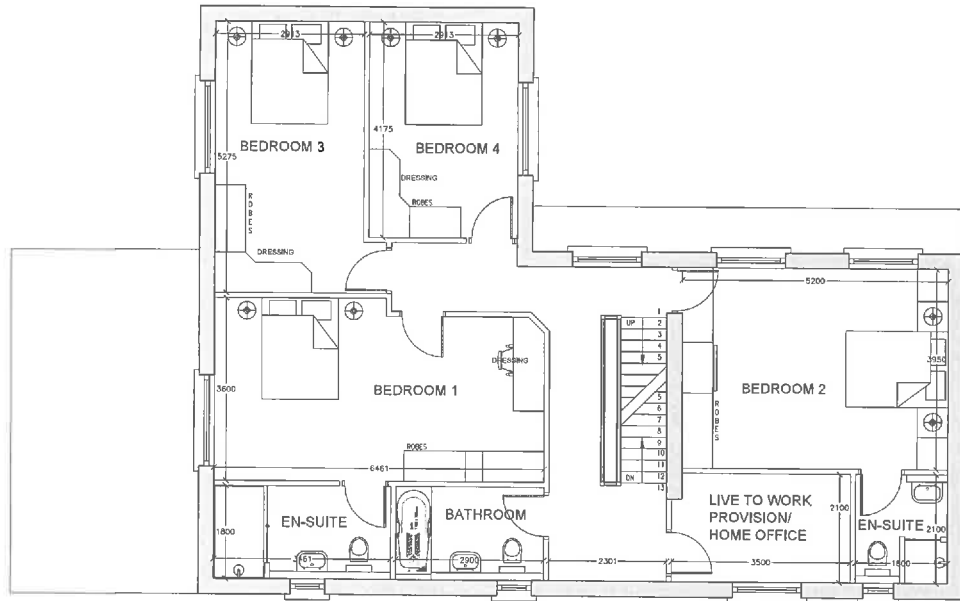
MR & MRS WALKER

14/1050/2014/PLANS - PLOT 3

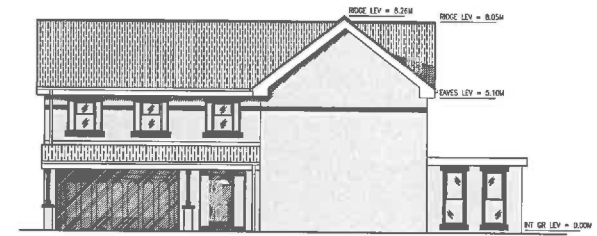
04.03.2014 Plot Scale: A1B1.50 Drawn by: JPE Status: ISSUE

JPE CONSULTANCY ARCHITECTURAL DESIGN & PLANNING

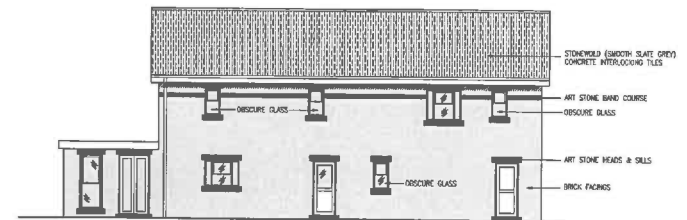
PLOT 4 RESIDENTIAL DEVELOPMENT AT SPENSIDE~



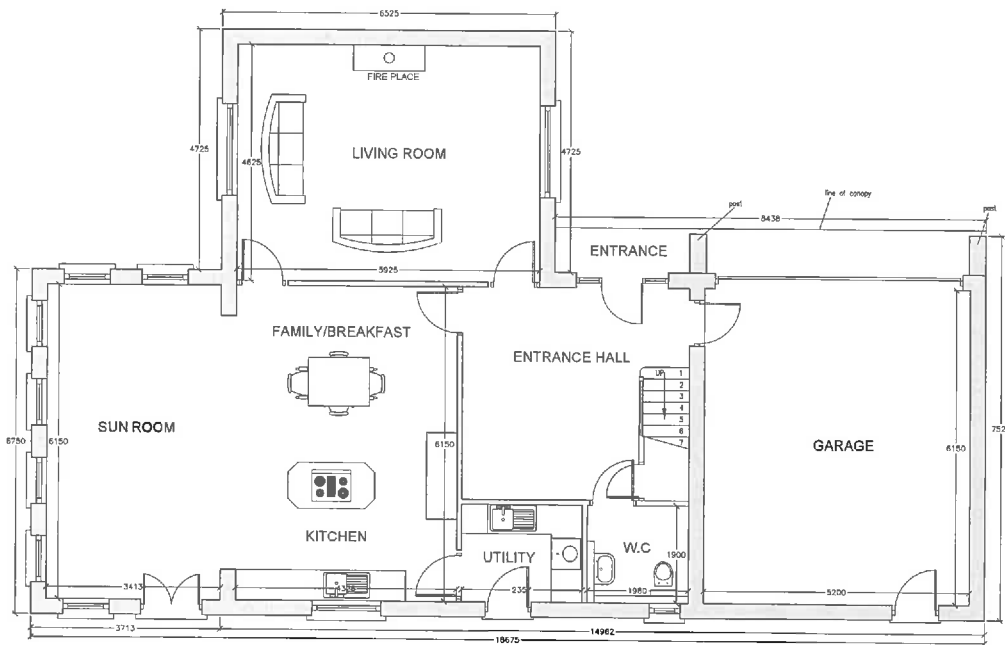
FIRST FLOOR PLAN (1:50)



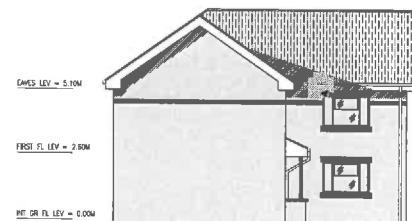
FRONT/WEST ELEVATION (1:100)



SIDE/EAST ELEVATION (1:100)



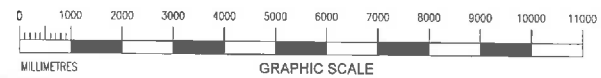
GROUND FLOOR PLAN (1:50)



SIDE/NORTH ELEVATION (1:100)



REAR/SOUTH ELEVATION (1:100)



NOTES~			
Gross Internal Floor Area (GIFA)			
Ground Floor = 127.3 sq m (1,477 sq ft)			
First Floor = 116.3 sq m (1,252 sq ft)			
Total accommodation = 243.6 sq m (2,729 sq ft)			
A 100mm x 14mm BALCONY REMOVED OVER SUN ROOM AND DOORS REPLACED WITH WINDOW TO REAR MASTER BEDROOM			
Amendments			
Title			
RESIDENTIAL DEVELOPMENT AT SPENSIDE, BURY AND BOLTON ROAD, BURY~			
Client			
MR & MRS WALKER			
Dwg. No.			
14/1050/2044/PLANS - PLOT 4			
Date	Plot Scale	Drawn by	Status
04.03.2014	A1@1:50	JPE	ISSUE
JPE CONSULTANCY ARCHITECTURAL DESIGN & PLANNING 9 Woodside Drive, Watlington, Oxon. OX15 2JF Telephone 01872 627 668 jpe@jpeconsultancy.co.uk			

Applicant: Vodafone Ltd

Location: Parr Lane Service Station, Parr Lane, Bury, BL9 8LZ

Proposal: Prior notification of removal of existing 11.3 metre monopole and installation of 15 metre monopole (resubmission)

Application Ref: 57516/Telecom
Determination (56 Days)

Target Date: 02/07/2014

Recommendation: Prior Approval Required and Granted

Description

The site is currently used as a vehicle repair/car sales and is located at the junction of Parr Lane and Randale Drive. The building is located diagonally across the site with a car park to the front. Site is open with low 'hoop' fencing marking the boundary with the adopted highway.

There is a building to the northeast containing retail units at ground floor and apartments above and the former Dragon pub is beyond. The Dragon is currently undergoing redevelopment to a shop. There are residential properties to all other boundaries.

Permission was granted on appeal for the installation of a 11.8 metre high monopole and equipment cabinets on land at the rear of the service station in October 2011. It should be noted that the height of the monopole including the antennae is 12.3 metres

The proposed development involves the removal of the existing monopole and the installation of a 15 metre monopole including 4 antennae. The proposed monopole would be located some 3.5 metres to the north of the existing monopole. The existing equipment cabinet and meter pillar would be removed and a cabinet and meter pillar would be located adjacent to the proposed monopole.

The proposed development will facilitate site sharing by both Vodafone and O2 and is required to provide 3G and 4G coverage.

Relevant Planning History

53699 - Prior notification for 11.8 m high monopole with shrouded antennas and equipment cabinets to facilitate site sharing at Parr Lane Service Station, Parr Lane, Bury. Prior approval required and refused - 21 April 2011.

57249 - Prior notification of removal of existing 11.3 metre monopole and installation of 15 metre monopole at Parr Lane Service Station, Parr Lane, Bury. Withdrawn - 2 April 2014.

Publicity

55 neighbouring properties were notified by means of a letter on 7 May and site notices were posted on 13 May 2014.

1 letter has been received from the occupiers of 127 Randale Drive, which has raised the following issues:

- If 11 metres does not provide sufficient coverage what does that say about the competence of the company?
- Is it right to assume that residents will go through the same stress in a few years when they look to raise the mast further?
- Can you confirm that no harm is being done to the developing brains of young children by the proximity of such sources of radiation?
- I expect the application to be rejected and then allowed on appeal - what a waste of our

money.

The objector has been notified of the Planning Control Committee meeting.

Consultations

Traffic Section - Comments awaited.

Unitary Development Plan and Policies

EN1/2	Townscape and Built Design
EN1/10	Telecommunications
EN7	Pollution Control
S1/5	Neighbourhood Centres and Local Shops
HT4	New Development
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Health issue - The NPPF states that applications for telecommunications development should include a statement that self certifies that the cumulative exposure, when operational, will not exceed the International Commission on non-ionising radiation protection guidelines. Local Planning Authorities must determine applications on planning grounds. They should not seek to determine health safeguards if the proposal meets International Commission guidelines for public exposure. In this case, the applicant has indicated that the proposal would meet the ICNIRP guidelines, through the submission of a certificate.

Supporting information - No additional sites have been put forward as the proposed development would involve the sharing of a single mast, which is encouraged in the NPPF. The application site includes a mast, which would be replaced with a monopole some 2.7 metres higher to facilitate site sharing and provide 4G coverage. The applicant has provided sufficient information to justify the need of the proposed development, thereby reducing the need for additional masts in the locality. Therefore, the proposed development would be in accordance with Policy EN1/10 of the Bury Unitary Development Plan and Section 5 of the NPPF

Visual amenity - The proposed monopole would be located at the rear of the garage building and would be some 3.5 metres further north than the existing mast. As such, the proposed monopole would be visible from the habitable room windows of the nearby residential properties.

The Planning Inspectorate allowed the existing monopole on appeal, as it was considered that the proposed mast would be screened by the existing trees within the surrounding gardens. It was clear from the site visit that some of these trees have been lopped and do not provide the same level of screening as previously. As such, the agent has amended the design of the proposed monopole from the previously withdrawn application (57249) to one which resembles a telegraph pole.

The proposed monopole would be grey in colour and the proposed equipment cabinet would be green in colour. The proposed equipment cabinet would not be visible from the streetscene or to the neighbouring properties due to the 1.8 metre high fencing along the boundary between the two sites. Given, the screening provided by the existing trees, the

existing street furniture within the locality and the amendment to the design of the monopole, it is considered that the proposed development would be acceptable and would not be detrimental to the visual amenity of the locality. Therefore, the proposed development would be in accordance with Policy EN1/2 and EN1/10 of the Bury Unitary Development Plan.

Highways issues - The proposed mast, equipment cabinet and meter pillar would be located behind the garage building and as such, would not impact upon the servicing or parking arrangements at the site. Therefore, the proposed development would be in accordance with Policy EN1/10 of the Bury Unitary Development Plan.

Response to objectors

The issues relating to the risk to health have been addressed in the main report. The increase in height of the proposed mast is required to facilitate site sharing and 3G and 4G coverage. The provision of a single higher mast would reduce the need for other masts in the locality.

Statement in accordance with Article 31 Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2012

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

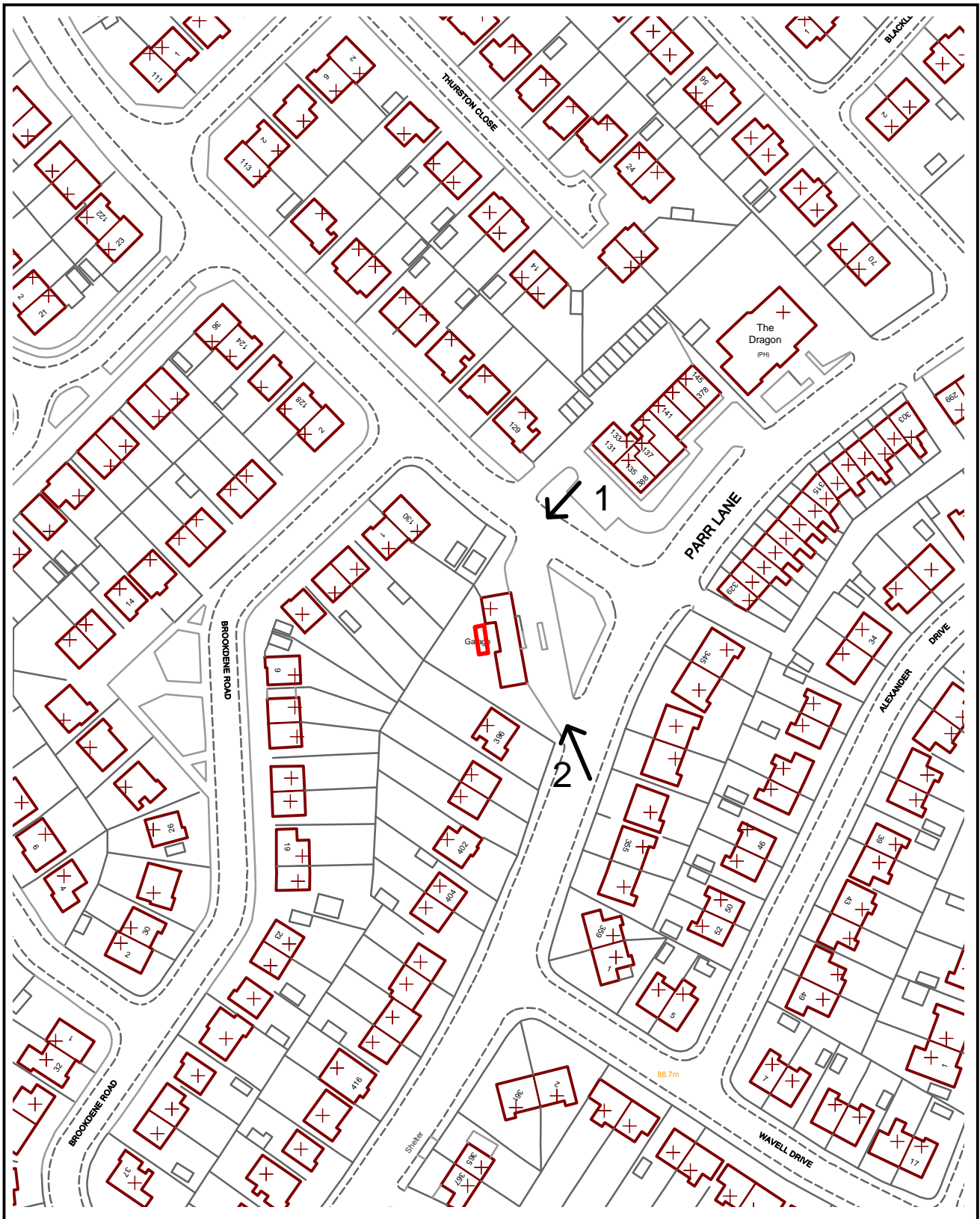
Recommendation: Prior Approval Required and Granted

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered 100 A, 201 C, 202 D, 301 B, 302 E, 400 E, 500 D and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. The mast hereby approved shall be painted grey (RAL 7035) and the equipment cabinets shall be green (RAL 6009).
Reason. In the interest of visual amenity pursuant to Policies EN1/2 - Townscape and Built Design and Policy EN1/10 - Telecommunications of the Bury Unitary Development Plan.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 57516

**ADDRESS: Parr Lane Service Station
Parr Lane, Bury**



Planning, Environmental and Regulatory Services 1:1250

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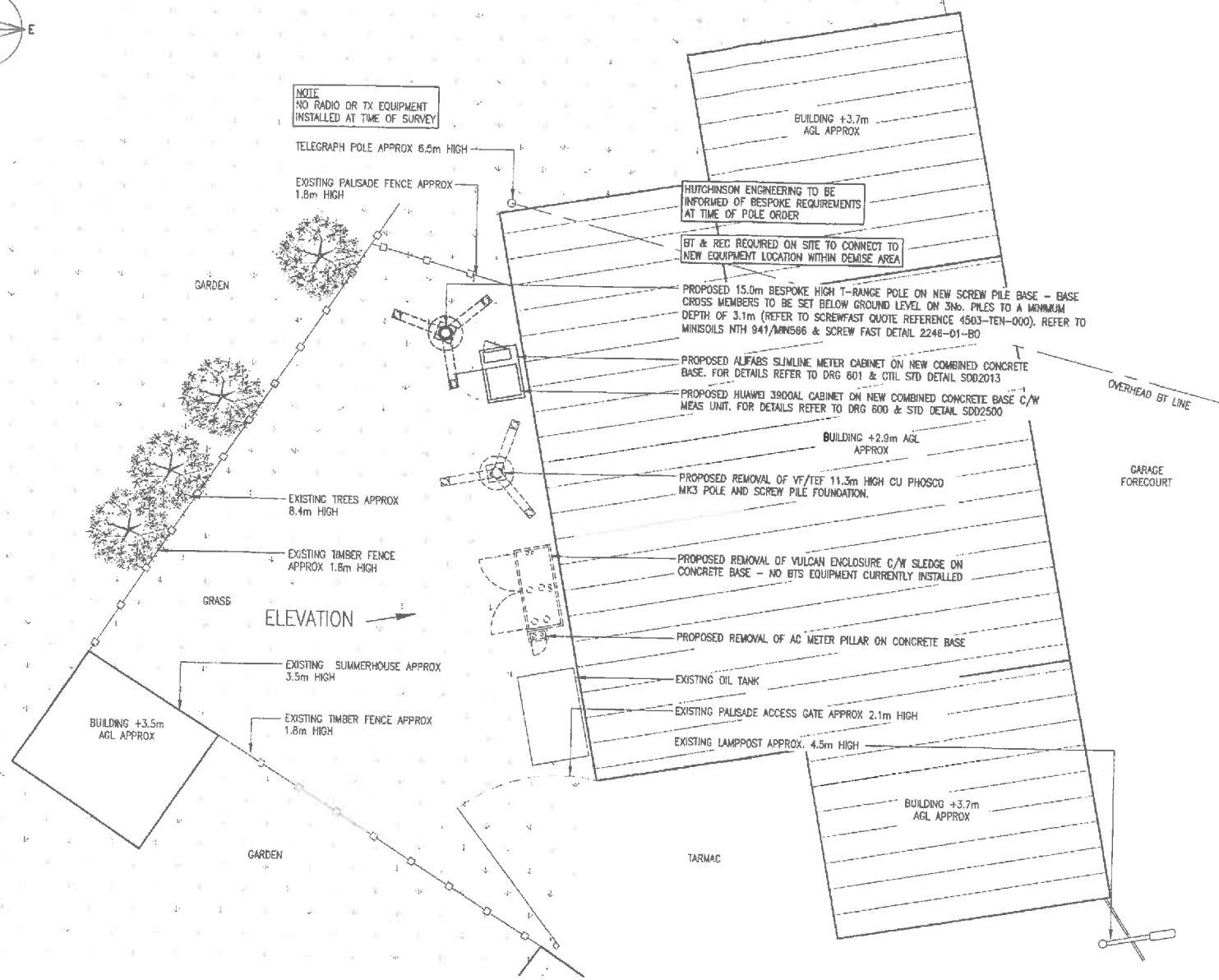
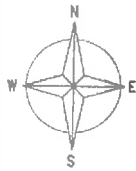
57516

Photo 1



Photo 2





NOTE
NO RADIO OR TX EQUIPMENT
INSTALLED AT TIME OF SURVEY

TELEGRAPH POLE APPROX 6.5m HIGH

EXISTING PALISADE FENCE APPROX
1.8m HIGH

GARDEN

EXISTING TREES APPROX
8.4m HIGH

EXISTING TIMBER FENCE
APPROX 1.5m HIGH

GRASS

ELEVATION →

EXISTING SUMMERHOUSE APPROX
3.5m HIGH

EXISTING TIMBER FENCE APPROX
1.8m HIGH

BUILDING +3.5m
AGL APPROX

GARDEN

TARMAC

BUILDING +3.7m
AGL APPROX

HUTCHINSON ENGINEERING TO BE
INFORMED OF BESPOKE REQUIREMENTS
AT TIME OF POLE ORDER

BT & REG REQUIRED ON SITE TO CONNECT TO
NEW EQUIPMENT LOCATION WITHIN DEMISE AREA

PROPOSED 15.0m BESPOKE HIGH T-RANGE POLE ON NEW SCREW PILE BASE - BASE
CROSS MEMBERS TO BE SET BELOW GROUND LEVEL ON 3No. PILES TO A MINIMUM
DEPTH OF 3.1m (REFER TO SCREWFAST QUOTE REFERENCE 4503-TEN-000). REFER TO
MINISOILS NTH 941/ANN566 & SCREW FAST DETAIL 2246-01-B0

PROPOSED ALUFABS SLIMLINE METER CABINET ON NEW COMBINED CONCRETE
BASE. FOR DETAILS REFER TO DRG 601 & CTIL STD DETAIL SDD2013

PROPOSED HUAWEI 3900AL CABINET ON NEW COMBINED CONCRETE BASE C/W
MEAS UNIT. FOR DETAILS REFER TO DRG 600 & STD DETAIL SDD2500

BUILDING +2.9m AGL
APPROX

PROPOSED REMOVAL OF VF/TEF 11.5m HIGH CU PHOSCO
MK3 POLE AND SCREW PILE FOUNDATION.

PROPOSED REMOVAL OF VULCAN ENCLOSURE C/W SLEDGE ON
CONCRETE BASE - NO BTS EQUIPMENT CURRENTLY INSTALLED

PROPOSED REMOVAL OF AC METER PILLAR ON CONCRETE BASE

EXISTING OIL TANK

EXISTING PALISADE ACCESS GATE APPROX 2.1m HIGH

EXISTING LAMPOST APPROX. 4.5m HIGH

BUILDING +3.7m
AGL APPROX

OVERHEAD BT LINE

GARAGE
FORECOURT

PROPOSED SITE PLAN
(1:100)

The drawings comply with TEF & Vodafone Standard ICNIRP guidelines.
Designed in accordance with Cornerstone document: CORN/09/006

Notes:
1 ALL DIMENSIONS ARE IN MM UNLESS NOTED OTHERWISE

N.G.R. E: 381349 N: 408556

NOTE:
1. ALL WORK TO BE CARRIED OUT TO
CURRENT BRITISH STANDARDS AND/OR
EUROCODES AS REQUIRED.
2. ALL MATERIALS INSTALLED TO BE AS PER
CLIENTS APPROVED SPECIFICATION, AND
COMPLY WITH CURRENT BRITISH STANDARDS
AND/OR EUROCODES AS REQUIRED.
3. ANY DEVIATION FROM THE DESIGN
SHOULD BE REPORTED TO DESIGN
ENGINEER IMMEDIATELY PRIOR TO WORKS
CONTINUING.

ELECTRICAL NOTE:
PROPOSED EQUIPMENT AND ALL ADDITIONAL
EXTRANEUS STEELWORK TO BE BONDED
TO THE EXISTING LPS. UPGRADE WORKS TO
COMPLY WITH CTIL STANDARD DOCUMENTS
SDD5003 & SDN5002 EARTHING &
LIGHTNING PROTECTION SITE REQUIREMENTS

NOTE:
RIGGING WORKS TO COMPLY WITH
CTIL STANDARD DOCUMENTS

REV	MODIFICATION	BY	CHK	DATE
D	Proposed Column Amended	SPD	SH	09.04.14
C	Issued for Construction	SPD	SH	18.04.14
B	Proposed plan added	SPD	SH	13.01.14
A	Issued for Approval	SPD	SH	24.12.13

mono #

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Site Address / Contact Details
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UNSWORTH
BURY
BL9 8ND

Drawing Title: PROPOSED SITE PLAN

Purpose of Issue: CONSTRUCTION

Drawing Number: 202

Scale:	As Shown	Drawn:	Date:	Issue:					
Checked:	SH	Date:	24.12.13	Approved:	DS	Date:	24.12.13	Issue:	D

TOP OF PROPOSED POLE
+15.0m AGL

TOP OF PROPOSED ANTENNAS
+14.9m AGL

U/S OF PROPOSED ANTENNAS
+12.2m AGL

TOP OF PROPOSED ANTENNAS
+11.9m AGL

U/S OF PROPOSED ANTENNAS
+10.5m AGL

TELEGRAPH POLE
+6.5m AGL

EXISTING LAMPPOST
APPROX. 4.5m HIGH

BUILDING APPROX.
3.7m AGL

BUILDING APPROX.
2.9m AGL

PROPOSED ALFABIS SLIMLINE METER CABINET
ON NEW COMBINED CONCRETE BASE. FOR
DETAILS REFER TO DRG B01 & CTIL STD
DETAIL SDD2013

PROPOSED HUAWEI 3900AL CABINET ON NEW
COMBINED CONCRETE BASE C/W MEAS UNIT.
FOR DETAILS REFER TO DRG 600 & STD
DETAIL SDD2500

PROPOSED 1No. TRI-SECTOR ANTENNA
WITHIN SHROUD

PROPOSED 3No. ANTENNAS WITHIN SHROUD

PROPOSED 15.0m HIGH BESPOKE T-RANGE POLE ON NEW SCREW PILE BASE - BASE
CROSS MEMBERS TO BE SET BELOW GROUND LEVEL ON 3No. PILES TO A MINIMUM
DEPTH OF 3.1m (REFER TO SCREWFEST QUOTE REFERENCE 4503-TEN-000). REFER TO
MINISOLS NTH 941/MIN566 & SCREW FAST DETAIL 2246-01-B0

PROPOSED REMOVAL OF VF/TEF 11.3m HIGH CU
PHOSCO MK3 POLE C/W SCREW PILE FOUNDATION,
VULCAN ENCLOSURE C/W SLEDGE & AC METER PILLAR

EXISTING PALISADE ACCESS GATE APPROX 2.1m HIGH

HUTCHINSON ENGINEERING TO BE
INFORMED OF BESPOKE REQUIREMENTS
AT TIME OF POLE ORDER

EXISTING LAMPPOST APPROX. 4.5m HIGH

EXISTING OIL TANK

PROPOSED NORTH EAST ELEVATION
(1:100)

Notes:
1 ALL DIMENSIONS ARE IN MM UNLESS NOTED OTHERWISE

N.G.R. E : 381349 N : 408556

- NOTE:**
- ALL WORK TO BE CARRIED OUT TO CURRENT BRITISH STANDARDS AND/OR EUROCODES AS REQUIRED.
 - ALL MATERIALS INSTALLED TO BE AS PER CLIENTS APPROVED SPECIFICATION, AND COMPLY WITH CURRENT BRITISH STANDARDS AND/OR EUROCODES AS REQUIRED.
 - ANY DEVIATION FROM THE DESIGN SHOULD BE REPORTED TO DESIGN ENGINEER IMMEDIATELY PRIOR TO WORKS CONTINUING.

ELECTRICAL NOTE:
PROPOSED EQUIPMENT AND ALL ADDITIONAL EXTRANEIOUS STEELWORK TO BE BONDED TO THE EXISTING LPS. UPGRADE WORKS TO COMPLY WITH CTIL STANDARD DOCUMENTS SDD5003 & SDD5002 EARTHING & LIGHTNING PROTECTION SITE REQUIREMENTS

NOTE:
RIGGING WORKS TO COMPLY WITH CTIL STANDARD DOCUMENTS

E	Proposed Column Amended	SPD	SH	09.04.14
D	Trig Dig Note Removed	SPD	SH	24.02.14
C	Issued for Construction	SPD	SH	14.02.14
B	Layout/Pole revised	SPD	SH	13.01.14
A	Issued for Approval	SPD	SH	24.12.13
REV	MODIFICATION	BY	CH	DATE

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PARR LANE SERVICE STATION	A

Cell ID No		
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Site Address / Contact Details

PARR LANE SERVICE STATION
UNSWORTH
BURY
BL9 8ND

Drawing Title: PROPOSED SITE ELEVATION

Purpose of Issue: CONSTRUCTION

Drawing Number: 302

Scale:	As Shown	Drawn:	SPD	Date:	24.12.13	Issue:	
Checked:	SH	Date:	24.12.13	Approved:	DS	Date:	24.12.13
							E

The drawings comply with TEF & Vodafone Standard ICNIRP guidelines.
Designed in accordance with Cornerstone document: CORN09/006

Ward: Whitefield + Unsworth - Pilkington Park

Item 09

Applicant: Latimer Lee

Location: Whitefield House, Pinfold Lane, Whitefield, Manchester, M45 7NY

Proposal: Variation of condition no. 20 of planning permission 53353 (60 no. bed care home with ancillary clinic/rehabilitation facilities, car parking and landscaping) to:
The construction of the care home and associated works within the site shall not commence unless and until a scheme showing the phased implementation of the development has been submitted to and approved by the Local Planning Authority. The development shall be implemented in accordance with the approved details only. The new access shall be formed onto Pinfold Lane and the redundant access reinstated as indicated on approved plan reference 2004-094/850 before first occupation of the building. All the public highway works shall then be implemented to a standard that makes them available for public use before the development is first brought into use.

Application Ref: 57525/Full

Target Date: 07/07/2014

Recommendation: Approve with Conditions

Description

The former Whitefield Town Hall is located in an area of parkland within the All Saints Conservation Area. The property was formerly used by the Council but was sold to the current owner of the site in 1991. Historically, the property was built some time around 1805, remodelled around 1857 and then became the Whitefield Town Hall in 1894.

The land ownership accompanying the town hall is tightly drawn around the building and also includes the access road from Pinfold Lane.

Since the original sale of the property, there has been a planning permission granted for a 50 bed nursing home, which has not been developed out.

In March 2004 the Council designated a Conservation Area, which includes the site, the parkland, Hamilton Road Park and areas extending along Higher Lane, Pinfold Lane and Church Lane.

This application is for a 60 bed nursing home, which would involve the demolition of the former Whitefield House and its reconstruction in salvaged and new materials. To the rear of the house would be a two and three storey annex building containing the main residential accommodation. This rear annex would use the levels of the land in such a way that part of the building would be at a basement level, so predominantly two storeys would be visible from surrounding land and it would be cut into the embankment at the rear.

In addition, the scheme proposes to create a newly formed pedestrian and vehicular access from Pinfold Lane and the closure of the existing access from Pinfold Lane. Parking and servicing would be provided towards the immediate frontage of the building.

This application is seeking to vary condition 20 of the approved planning permission scheme (53353) to permit the main new access to be provided at different timing in the implementation of the project rather than at the start of the project. The reasoning behind this is to enable/assist the coordination of land negotiations, financing and implementation.

Relevant Planning History

49732 - Single storey extension at the rear - Approve with Conditions 09/05/2008.

34524 - Extensions to former Whitefield Town Hall and change of use of building to form a

50 bed residential care home - Approved - 7/7/99.

42809 - Renewal of consent 24524 for Extensions to former Whitefield Town Hall and change of use of building to form a 50 bed residential care home - Refused 23/8/04 for the following reasons -

- The proposed development would be detrimental to the character of the building to be retained and the Pinfold Lane Conservation Area by reason of its height, size and design.
- The application and submitted plans contain insufficient information in terms of the extent of demolition and remedial measures to protect the remaining structure to enable them to be properly assessed.
- The proposed development requires the demolition of a building, which may provide a habitat potential for roosting bats and other protected species. The application does not provide a full assessment of any ecological potential and as such the proposal would conflict with Planning Policy Guidance Note 9 - Nature Conservation.

53080 - Conservation area consent for demolition of building with recording, removal and storage of south facade - Withdrawn by Applicant 08/11/2010.

53353 - 60 bed nursing home - Approved 18/5/11

53354 - Conservation area consent for demolition of building with recording, removal and storage of south facade (resubmission) - Approved 15/3/11 (granted for 6 months)

54450 - Conservation area consent for demolition of building with recording, removal and storage of south facade (varying condition 1 to tie to the land transfer - Refused 16/11/11. Appeal allowed 7/10/13 (granting 3 years but not tying demolition to land transfer)

Publicity

28 residential and business properties including Whitefield Health Centre, Cooksons Cycles, Slatterys, and houses on Pinfold Lane, Bury New Road and Parklands were consulted on 13/5/14. A site notice was erected on 22/5/14 and the press notice was published in the Bury Times on 22/5/14.

As a result of this publicity, three letters of objection have been received, from 4 and 8 Pinfold Lane and Mr M Saunders. points raised include:

- The current application basically seeks to use the existing access for construction purposes and provide the new access later in the process. I can understand this in terms of the practical implications on the construction of the new access, but this is not a reason to increase the impact upon my family unduly.
- Significant concerns regarding the impact of construction traffic on the existing boundary fence, and the harm that will arise in terms of noise and disturbance and the quiet enjoyment of our property. I have belatedly received details of a proposed boundary fence yesterday. However, details of the extent of the fencing are unclear ie. whether it will run the complete length of our boundary down to Pinfold Lane. Once this has been established, I will be in a better position to respond in a constructive manner and it may well address a large part of our concerns.
- Suggest, at the very least, conditions are imposed regarding the submission of such details before any work on site commences, and that the fence is erected as the first operation to ensure that any adverse impacts are appropriately mitigated.
- Having lived on Pinfold Lane for over 20 yrs and in that time have seen the volume of traffic increase 10 fold passing along the road.
- Where are the staff, residents of the facility and visitors going to park?
- We constantly have parking issues from the fact that Slatterys car park is insufficient for their needs, the school pupils are picked up and dropped off along the Lane and finally there are double yellow lines along the north side of the road. We also have a public library and day care centre on the road.
- From my understanding of the plans there is no possibility of there being enough

- parking spaces to accommodate the requirements of the facility.
- There is going to be major congestion issues if this construction is allowed to proceed and it will inevitably end up with a greater risk of accident on the Lane.
- Pinfold Lane is narrow Cars cannot pass in both directions as cars are already always parked on the odd numbers side of the Lane.
- There have been too many car crashes and there is a need for traffic calming.
- Abuse from impatient car drivers.

Respondents have been informed of the Planning Control Committee meeting.

Consultations

Traffic Management - No objections

Unitary Development Plan and Policies

EN2/1	Character of Conservation Areas
EN2/2	Conservation Area Control
RT1/1	Protection of Recreation Provision in the Urban Area
EN8/1	Tree Preservation Orders
EN8/2	Woodland and Tree Planting
EN1/1	Visual Amenity
EN1/3	Landscaping Provision
EN1/5	Crime Prevention
EN6/3	Features of Ecological Value
HT2/4	Car Parking and New Development
TC2	Town Centre Enhancement and Development
CF1/1	Location of New Community Facilities
CF4	Healthcare Facilities
EN1/6	Public Art
SPD4	DC Policy Guidance Note 4: Percent for Art
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations.

Principle - There have been previous proposals and approvals for the development of a nursing home on the site in the past. The most recent scheme involving the development of a 60 bed scheme required additional Council land to be developed out. That permission has been implemented by way of the creation of a small foundation and planning conditions relating to that permission are in the process of being discharged. If accepted, the permission is still valid and this may also result in some of the conditions proposed being amended to reflect their discharged status. An update of this will be provided within the supplementary.

This current planning application is not changing the principle of development nor the way that the development would appear if implemented, simply the phasing of implementation in relation to the access provisions. As such, the principle of the development is already approved including the scale of development, parking and servicing, landscaping, appearance and access.

Details - The existing planning condition required that the new access on to Pinfold Lane be implemented first so that the existing access becomes immediately redundant. However, the applicant and agent consider that the way the condition is currently drafted, the access would need to be completed before the remainder of the development is commenced and would in fact result in it becoming damaged through construction traffic.

The proposed amendment seeks to permit a phased approach to be adopted in relation to the implementation of the main elements of the scheme so that the implementation of the development can take better account of both the land negotiations and the build. In any event, the variation to the condition would require a phasing plan to be submitted and be subsequently approved such that the timings of the closure of the existing access, the construction of the new access, the implementation of the landscaping and the main building construction has to be formally approved through a condition discharge. As such, the variation of the condition would still enable a clear and precise understanding of the implementation.

Residential Amenity - The development components would not change as a result of the varying of condition 20. To that end, the issues in relation to residential amenity arising from the scheme have been considered in the approval of the original permission 53353. However, as there is now a potential for the existing access to be used for construction purposes, it is suggested that condition 24 (measures to prevent dust and mud) be broadened to include the need for a site hoarding to protect adjoining residential property of 4 Pinfold Lane. Issues arising through the construction of the development would still be subject to Environmental Pollution Act controls to ensure that there is not any undue impact arising from construction.

Given the above considerations, the amendment to the condition is considered to be acceptable.

Response to objections - These have been responded to in the above report.

Permission should be granted having regard to the policies and proposals listed and the reason(s) for granting permissions can be summarised as follows;-The development on balance would together with conditional controls and the completion and signing of a s106 planning agreement, would provide additional care facilities in the area, within a development that would not have a significantly detrimental effect upon the character of the parkland and St Mary's Conservation Area. The development would not unduly impact upon residential or visual amenity and would provide sufficient parking, access and servicing facilities for the sure. The development would comply with the policies described within this report and further would not detrimentally impact upon the ecology and nature on the site. As such, the development is considered to be acceptable on this basis and there are no other material considerations that outweigh this finding.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings/reports numbered/referenced:
Letters and Reports: DLA letters dated 21 February 2011 - Response to Woodland Trust Comments and "Whitefield House"; HY Transport Assessment 10052/January 2011; HY Interim Travel Plan - 10052/January 2011; 9010-018-SCH - Table Revised ScheduleOf Tree Loss and Mitigation; DLA Heritage Statement; Groundsure Desktop Site Investigation Report; JCA Ecological Scoping Report; Construction Phase Health & Safety Plan; DLA Planning Statement; DLA Design & Access Statement; JCA Arboricultural Report 9713/RG as amended by 21 February 2011 DLA letter; Bat Survey by JCA,Waldeck 11-3071 Structural Assessment report.

Plans: 9010-018-003 rev E, 9010-018-004 rev B, 2004-094-10 rev A, 2004-094-20 rev A, 2004-094-21 rev A, 2004-094-22 rev A, 2004-094-23 rev A, 2004-94-30 rev

A, 2004-094-31 rev A, 2004-094-40 rev A, 2004-094-41 rev A, 2004-094-42 rev A, 2004-94-50 rev A, 2004-094-51 rev A, 2004-94-52 rev A, 2004-94-53 rev A, 2004-094-61 Rev A, 2004-094-462 rev A, 2004-094-63 Rev A, 2004-094-700 Rev A, 1405101, 1405102, 1405103, 1405104, and 2009-094-850 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to policies of the Bury Unitary Development Plan listed below.

3. No development shall commence unless and until a sample panel of brickwork (from the materials to be recovered under Conservation Area Consent 53354) and lime mortar, demonstrating the colour, texture, face bond and pointing, not less than 1 sq.m in size, has been erected on site for inspection, and approval in writing, by the Local Planning Authority. Samples of the proposed roofing materials shall also be made available for inspection on site. Thereafter the development shall be constructed in the approved materials and approved manner of construction.

Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policies EN1/2 - Townscape and Built Design and EN2/2 - Conservation Area Control of Bury Unitary Development Plan.

4. A minimum of 5 working days written notice shall be provided to the LPA of intended commencement of the development. The notification of commencement shall include a timetabled schedule of the intended tree protection measures and tree works. Any subsequent variation of the timetable shall be subject to further written notice.

Reason - To ensure that the development is carried out in accordance with the approved plans, to protect trees which are of amenity value on the site and pursuant to Policies EN8/1 – Tree Preservation Orders and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.

5. The landscaping scheme hereby approved shall be implemented to the written satisfaction of the Local Planning Authority not later than 12 months from the date the building(s) is first occupied. Any trees or shrubs removed, dying or becoming severely damaged or becoming seriously diseased within 5 years of planting shall be replaced by trees or shrubs of a similar size and species to those originally required to be planted to the written satisfaction of the Local Planning Authority.

Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.

6. No trees, unless indicated otherwise on the approved plans, shall be felled, lopped or topped before or during the construction period without the previous written consent of the Local Planning Authority.

Reason. To avoid the loss of trees which are of amenity value to the area pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.

7. No development shall commence unless and until:-

- A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
- Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
- Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to

National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

8. Following the provisions of Condition 6 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to Planning Policy Statement 23 - Planning and Pollution Control.

9. Any soil or soil forming materials brought to site for use in garden areas, soft landscaping, filling and level raising shall be tested for contamination and suitability for use on site. Proposals for contamination testing including testing schedules, sampling frequencies and allowable contaminant concentrations (as determined by appropriate risk assessment) and source material information shall be submitted to and approved in writing by the Local Planning Authority prior to any soil or soil forming materials being brought onto site, and;

The approved contamination testing shall then be carried out and validatory evidence (soil descriptions, laboratory certificates, photographs etc) submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

10. All instances of contamination encountered during the development works which do not form part of an approved Remediation Strategy shall be reported to the Local Planning Authority (LPA) immediately and the following shall be carried out where appropriate:

- Any further investigation, risk assessment, remedial and / or protective works shall be carried out to agreed timescales and be approved by the LPA in writing;
- A Site Verification Report detailing the conclusions and actions taken at each stage of the works including validation works shall be submitted to, and approved in writing by, the LPA prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

11. No development shall commence until full details of a scheme for the eradication and/or control of Japanese Knotweed (*Fallonica Japonica*, *Rouse Decraene*, *Polygonum Cuspidatum*) and Himalayan Balsam (*Impatiens Glandulifera*) is submitted to and approved in writing by the Local Planning Authority. The approved management plan shall include a timetable for implementation. Should a delay of more than one year occur between the date of approval of the management scheme and either the date of implementation of the management scheme or the date of development commencing, a further site survey must be undertaken and submitted to the Local Planning Authority.

Reason. To ensure that the site is free from Japanese Knotweed and Himalayan Balsam in the interest of UDP Policy EN9 - Landscape

12. No works shall be carried out to the trees that would disturb nesting birds between 1st March and 31st August inclusive in any year unless otherwise agreed in writing with the Local Planning Authority.
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
13. The car parking indicated on the approved plans shall be surfaced, demarcated and made available for use prior to the extension hereby approved being brought into use.
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.
14. No development shall commence unless and until the details relating to a woodland landscape management plan have been submitted to and approved in writing by the Local Planning Authority. The management plan shall relate solely to areas that fall within the applicant's control.
Reason - The scheme would require the removal, replanting or maintenance works to extant trees subject to a Tree Preservation Order. As such the plan is required to ensure that the character and quality of the trees within the Conservation Area still reflects the woodland nature of the site and parkland pursuant to Unitary Development Plan Policy EN8/1 - Tree Preservation Orders.
15. Notwithstanding the provisions of the plan reference number 2004-094-022 rev A, there shall be no windows in the westerly elevation of room 37 located on the first floor; and the landing window within the westerly elevation and stairwell windows in the westerly elevation at first floor shall be fitted with obscured glazing prior to first occupation and this glazing shall remain as obscure glazing whilst they serve the development hereby approved.
Reason - To ensure that there would be no loss of privacy and undue impact upon the residential amenities of the occupant of 5 Parklands, Whitefield pursuant to Unitary Development Plan Policy CF1/1 - Community Facilities.
16. Prior to the commencement of development, details relating to the proposed boundary fencing treatment for the site shall be submitted to and approved in writing by the Local Planning Authority. The approved details only shall be implemented as part of the approved development.
Reason - In the interests of visual amenity and to ensure a satisfactory development pursuant to Policies EN1/2 - Townscape and Built Design and EN2/2 - Conservation Area Control of Bury Unitary Development Plan.
17. The reconstruction of the 'Whitefield House' part of the development shall not commence until details of its the brick facings, headers in relation to the mortar , its tooling and depth, reveal details for windows and window frame sections and openings and reconstruction of the portico have been supplied to and approved in writing by the Local Planning Authority. The work shall then be carried out in complete accordance with those details.
Reason. In order to ensure that the reconstruction of Whitefield House is as authentic as can be achieved using the salvaged materials and pursuant to Unitary Development Plan Policy EN2/2 - Conservation Area Control.
18. No development, building work or demolition shall take place unless and until a desk study and scoping report for an archaeological watching brief has been submitted to and approved in writing by the Local Planning Authority. On implementation of development, excavation works shall be carried out in accordance with the approved scoping report.

Reason. To make a record of buildings and features of archaeological interest pursuant to policies EN3/1 – Impact of Development on Archaeological Sites, EN3/2 – Development Affecting Archaeological Sites of the Bury Unitary Development Plan.

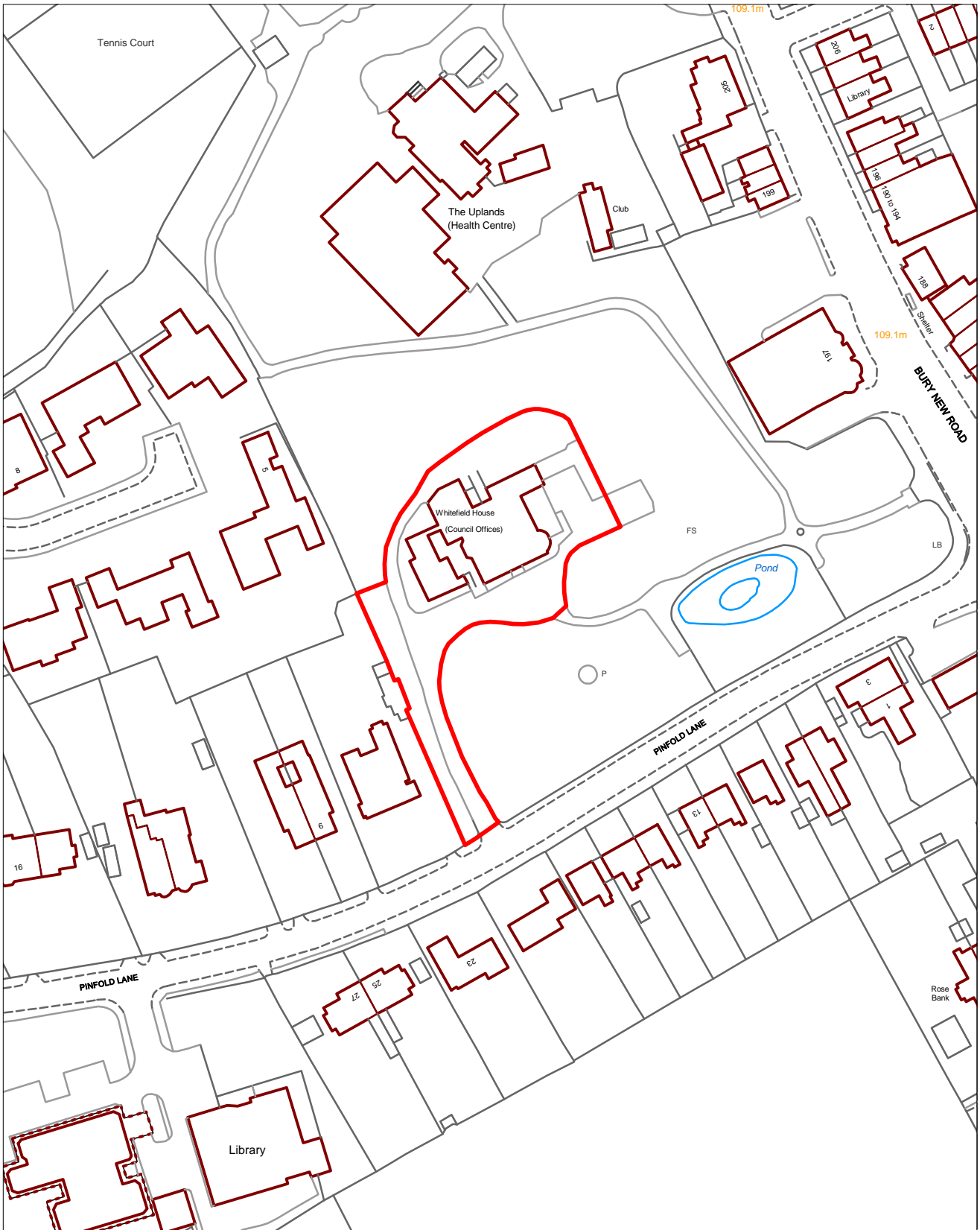
19. Development shall not commence until details of foul & surface water drainage aspects have been submitted to and approved by the Local Planning Authority.
Reason - The current application contains insufficient information regarding the disposal of foul and surface water from the proposed development to be properly appraised at this stage pursuant to NPPF Chapter 10 - Meeting the challenge of climate change, flooding and coastal change.
20. The construction of the care home and associated works within the site shall not commence unless and until a scheme showing the phased implementation of the development has been submitted to and approved by the Local Planning Authority. The development shall be implemented in accordance with the approved details only. The new access shall be formed onto Pinfold Lane and the redundant access reinstated as indicated on approved plan reference 2004-094/850 before first occupation of the building. All the public highway works shall then be implemented to a standard that makes them available for public use before the development is first brought into use.
Reason - To ensure good highway design in the interests of highway safety pursuant to Unitary Development Plan Policies HT2 - Highway Network, HT6/1 - Pedestrian and Cyclist Movement.
21. The construction of the care home and associated works within the site shall not commence unless and until the turning facilities indicated on approved plan reference 2004-094/850 have been provided to a specification to be agreed in writing with the Local Planning Authority. The turning facilities provided shall then be fully completed to the written satisfaction of the Local Planning Authority before the development is brought into use or first occupied and shall subsequently be maintained free of obstruction at all times.
Reason - To minimise the standing and turning movements of vehicles on the highway in the interests of road safety pursuant to Unitary Development Plan Policies HT2 - Highway Network, HT6/1 - Pedestrian and Cyclist Movement.
22. The visibility splays indicated on approved plan reference 2004-094/850, shall be implemented to the written satisfaction of the Local Planning Authority before the access is brought into use and subsequently maintained free of obstruction above the height of 0.6m.
Reason - To ensure the intervisibility of the users of the site and the adjacent highways in the interests of road safety pursuant to Unitary Development Plan Policies HT2 - Highway Network, HT6/1 - Pedestrian and Cyclist Movement.
23. There shall be no direct means of vehicular access between the site and Pinfold Lane other than the new access to be formed onto Pinfold Lane.
Reason - To ensure good highway design in the interests of highway safety pursuant to Unitary Development Plan Policies HT2 - Highway Network and HT6/1 - Pedestrian and Cyclist Movement.
24. Before the development is commenced, details shall be submitted to and approved by the Local Planning Authority to cover measures to include hoarding of the site and the construction access and to ensure that all mud and other loose materials are not carried on the wheels and chassis of any vehicles leaving the site and measures to minimise dust nuisance caused by the operations. The approved details shall be implemented and maintained thereafter during the period of construction.
Reason - To ensure that the adopted highways are kept free of deposited material from the ground works operations pursuant to UDP Policy EC6/1 - Assessing New Business, Industrial and Commercial Development, HT2 - Highway Network and

HT6/1 - Pedestrian and Cyclist Movement.

25. No construction work shall commence unless and until details relating to the bin store and cycle store have been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details and both the bin and cycle stores shall be made available for use prior to the development first becoming operable and thereafter be maintained and available for use.

Reason - The application contained insufficient elevation details for these two matters and to ensure that the site is adequately serviced for refuse provisions pursuant to EN7 - Pollution Control and pursuant to the NPPF Chapter 4 - Promoting sustainable transport.

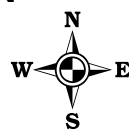
For further information on the application please contact **Dave Marno** on **0161 253 5291**



PLANNING APPLICATION LOCATION PLAN

APP. NO 57525

**ADDRESS: Whitefield House
Pinfold Lane, Whitefield**



Planning, Environmental and Regulatory Services 1:1250

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SCALE 1:100

EXISTING ACCESS TO BE CLOSED

BT EDGING

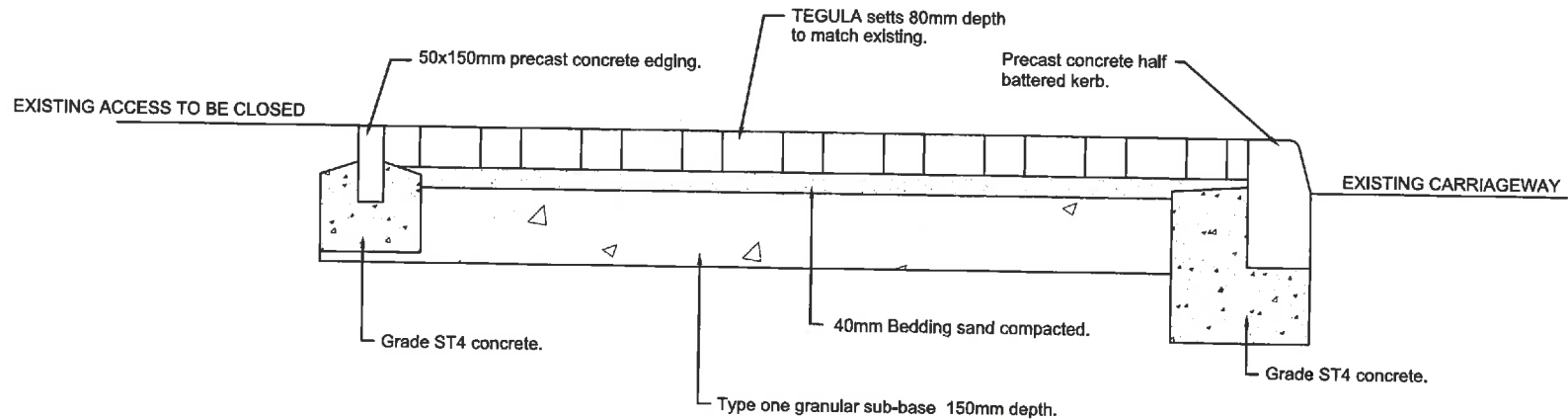
TEGULA PAVING

48.09

48.18
TAKE UP EXISTING KERBING AND SURFACING (TEGULA/TARMAC) TO SUB-BASE LEVEL AND RECONSTRUCT AS PER TYPICAL SECTIONS.

NEW KERB

CLOSED ACCESS FOOTWAY DETAILS SCALE 1:10
SECTION A-A



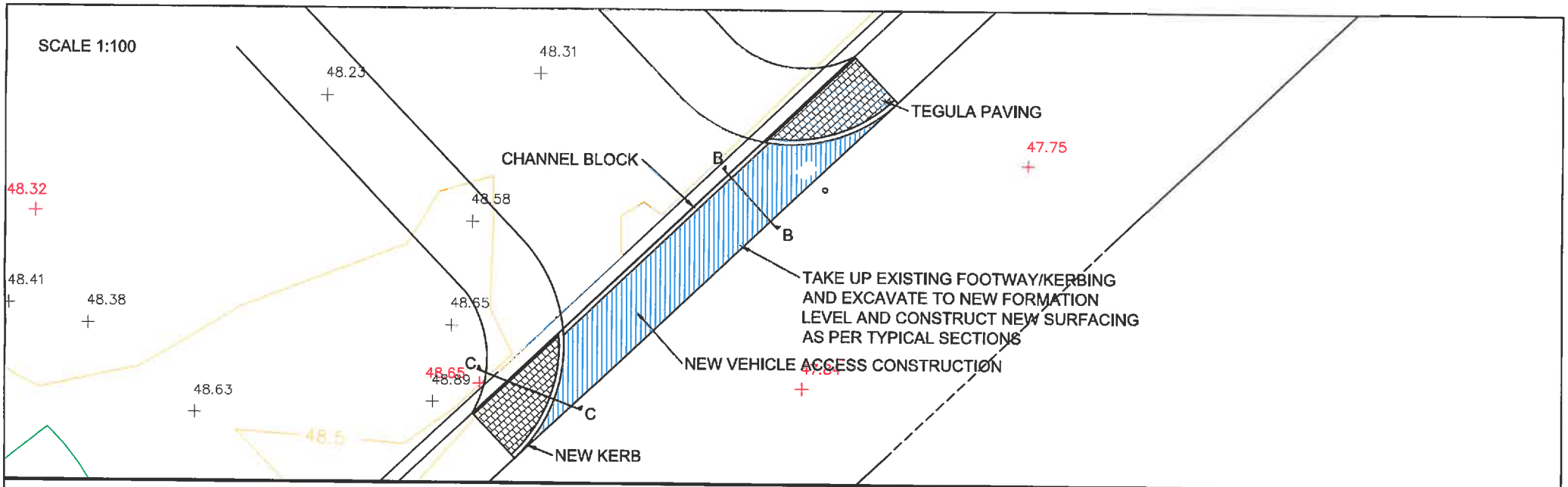
THIS DRAWING SHOWS THE PRELIMINARY DESIGN ONLY AND IS SUBJECT TO DETAILED DESIGN, TOPOGRAPHICAL SURVEY INFORMATION AND LOCAL AUTHORITY APPROVAL

REV	AMENDMENTS	DATE

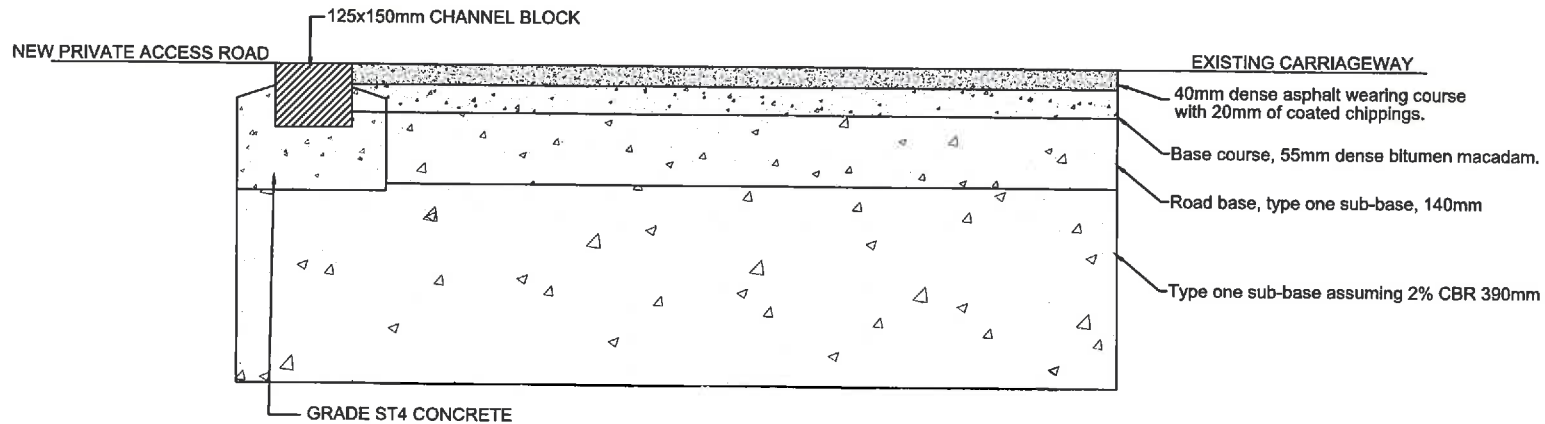
HY CONSULTING Ltd
 UNIT 2, THE OFFICE CAMPUS
 RED HALL COURT
 PARAGON BUSINESS VILLAGE
 WAKEFIELD WF1 2UY
 tel: 01924 291536
 email: mail@hyconsulting.com

WHITEFIELD HOUSE
 PINFOLD LANE, BURY
 CLOSED ACCESS

SCALE: AS SHOWN @ A3
 DATE: MAY 2014
 DRAWING No: 1405101



NEW ACCESS PROPOSALS SCALE 1:10
SECTION B-B



THIS DRAWING SHOWS THE PRELIMINARY DESIGN ONLY AND IS SUBJECT TO DETAILED DESIGN, TOPOGRAPHICAL SURVEY INFORMATION AND LOCAL AUTHORITY APPROVAL

REV	AMENDMENTS	DATE

HY CONSULTING Ltd

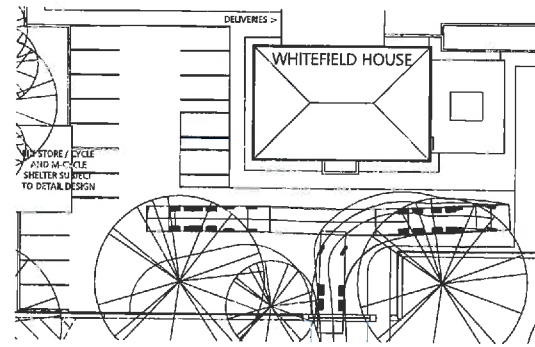
 UNIT 2 THE OFFICE CAMPUS
 RED HALL COURT
 PARAGON BUSINESS VILLAGE
 WAKEFIELD WF1 2UY
 tel: 01924 291536
 email: mail@hyconsulting.com

WHITEFIELD HOUSE
 PINFOLD LANE, BURY
 NEW ACCESS PROPOSALS

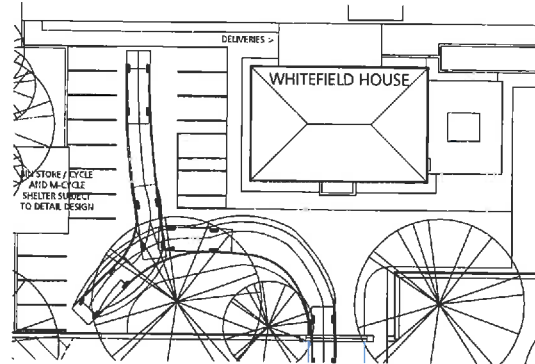
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 DATE: MAY 2014
 DRAWING No: 1405102



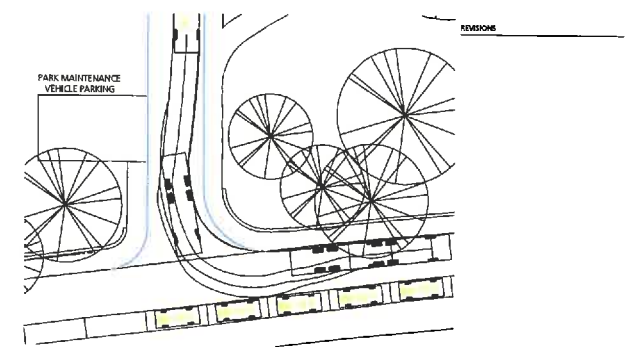
SITE PLAN 1:500



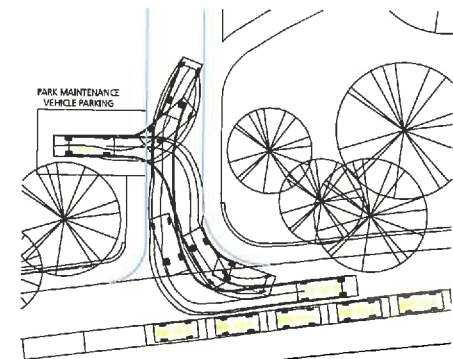
LARGE REFUSE VEHICLE MANOEUVRING WITHIN SITE TO ACCESS BIN STORE - 1:250



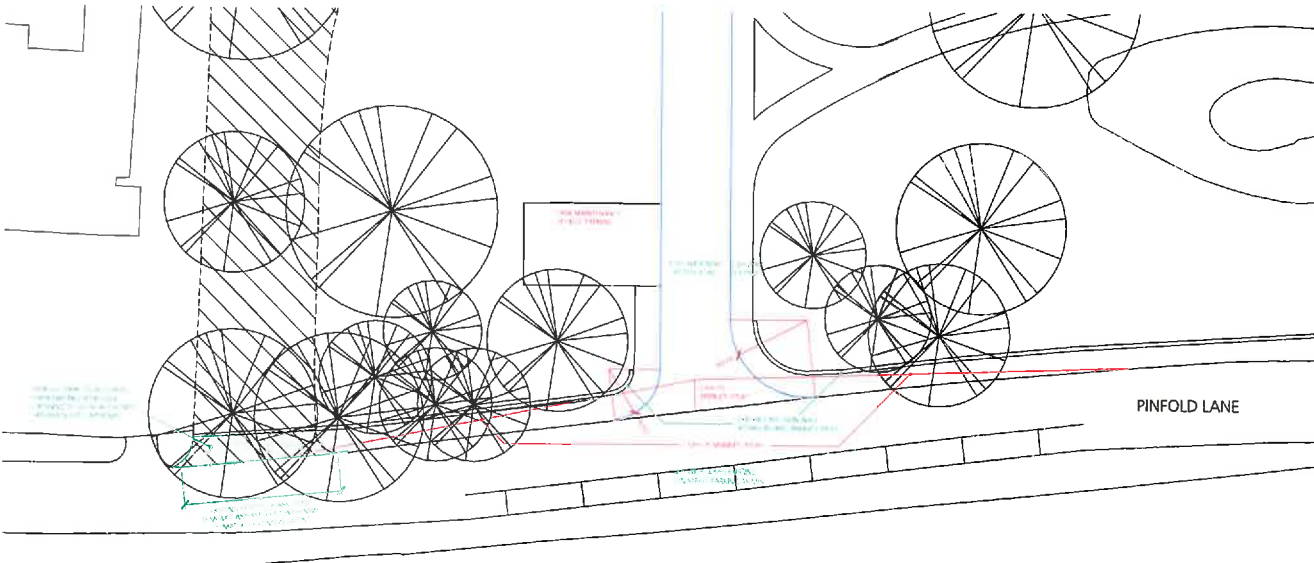
DELIVERY VEHICLE MANOEUVRING WITHIN SITE TO DELIVERY AREA - 1:250



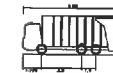
LARGE REFUSE VEHICLE EXITING SITE FROM NEW ACCESS ROAD ONTO PINFOLD LANE - 1:250



PARK MAINTENANCE VEHICLE ACCESSING DEDICATED PARKING AREA - 1:250



NEW SITE ACCESS OFF PINFOLD LANE - 1:200



Large Refuse Vehicle (3 axle)
 Overall Length 12.00m
 Overall Width 2.50m
 Max. Road Height 4.00m
 Min. Road Ground Clearance 0.25m
 Lock to Lock Time 0:00:00
 Kerb to Kerb Turning Radius 9.00m

LARGE REFUSE VEHICLE



FTA Epsilon LC Rigid Vehicle (1998)
 Overall Length 6.00m
 Overall Width 2.00m
 Max. Road Height 3.00m
 Min. Road Ground Clearance 0.25m
 Lock to Lock Time 0:00:00
 Kerb to Kerb Turning Radius 5.00m

DELIVERY VEHICLE



4x4 Light Van
 Overall Length 4.00m
 Overall Width 1.80m
 Max. Road Height 2.00m
 Min. Road Ground Clearance 0.25m
 Lock to Lock Time 0:00:00
 Kerb to Kerb Turning Radius 4.00m

MAINTENANCE VEHICLE



South Park Way | Whitefield 41 Business Park
 WAKEFIELD | WF9 0UJ
 TEL: 01924 856555 | FAX: 01924 856555
 EMAIL: info@dla-architecture.com | www.dla-architecture.com

PROJECT
WHITEFIELD HOUSE

TITLE
**VEHICLE SWEEP PATHS
 ACCESS ROAD DETAILS**

SCALE DATE
AS NOTED 17/02/11

DRAWN BY REVIEWED
PSL

DRAWING NO. REVISION
2004-094/850

DWG PATH

1:1000x2000+016x2025-Architectural-DWG.dwg 25/02/11
 ORIGINAL PATH: UPT 1A

Applicant: Mrs Barbara Critchley

Location: Dudley House, Clarkes Hill, Whitefield, Manchester, M45 7TG

Proposal: Erection of additional domestic kennelling facility (resubmission of 57210).

Application Ref: 57535/Full

Target Date: 03/07/2014

Recommendation: Approve with Conditions

Description

The application relates to a well established boarding kennels and cattery with a private dwelling on the south side of Ringley Road West. Other than three neighbouring properties immediately to the east, the site is relatively isolated, surrounded by open countryside. The site is within the Green Belt and is designated within a River Valley. The kennels and the immediate neighbours are all accessed via a private driveway off Ringley Road.

Within the kennels and cattery site, the applicant's house is in the north east section and the majority of the kennels are in the north west corner. Currently there are 45 licensed kennels on the site, situated in the north west part of the site. The main cattery buildings, with accommodation for 36 cats, are on the eastern side of the site, to the south of the main dwelling.

The proposal involves constructing a new kennel block to accommodate the applicant's own dogs, of which there are seven. The building would be located on the north east boundary, set down from the adjacent open field, owned by Outwood Gate Farm. It would be constructed in painted blockwork with a corrugated steel roof. The footprint would measure approx 11.6m by 5.2m with a shallow pitched roof to a maximum height of 3m (approx). The kennels which would have a sleeping and exercise area for each dog.

It is noted that building work has commenced.

Relevant Planning History

57210 - Erection of kennel/stable block - Refused 16/04/2014 on grounds that the kennels were inappropriate so close to the shared boundary with the immediate neighbour.

48510 - Two new cattery units to replace existing cattery and dog kennels (resubmission) - Approved 03/09/2007

37016 - Erection of five kennels to replace existing domestic kennels - Approved 02/01/2001 (not implemented)

35405/99 - Additional dog kennels, store building and reception office - Approved 21/03/2000. The approval was subject to the following condition restricting the number of kennels on the site to a maximum of 54.

Publicity

The following 5 neighbours, all at Clarkes Hill, were notified by letter dated 09/05/14. Hurstwood, Hurstwood Cottage, Clarkes Hill Cottage, The Cottage and Clarkes Hill House.

Two letters of objection have been received from The Cottage and Outwood Gate Farm are summarised below.

- The would be additional noise particularly if the kennels are open.
- They could be used for commercial boarding.
- The new kennels, used for commercial boarding, would generate increased traffic.
- The new building will encroach onto neighbouring land, not within the applicant's ownership.

The objectors have been notified of the Planning Control Committee.

Consultations

Traffic Section - No objection.

Drainage Section - No objection.

Environmental Health - No objection.

Unitary Development Plan and Policies

OL1/2 New Buildings in the Green Belt

OL5/2 Development in River Valleys

EC4/1 Small Businesses

EN1/1 Visual Amenity

EN7/2 Noise Pollution

SPD8 DC Policy Guidance Note 8 - New Buildings in the Green Belt

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Policy - The proposal involves a new building in the Green Belt and as such the following policies are involved.

The NPPF and the Councils own UDP Policy OL1/2 New Buildings in the Green Belt indicates that new buildings in the Green Belt are inappropriate unless they are for agriculture/forestry, essential facilities for outdoor sport and recreation and limited extensions to dwellings and infill development. Replacement buildings are also acceptable as long as they are for the same use and of a similar size to the original building.

The proposed new building does not fall within these criteria and therefore, by definition the proposal is inappropriate development in the Green Belt. 'Very special circumstances'(VSC) are therefore required to justify the development.

Need - The applicant owns eight dogs that need to be housed in appropriate accommodation within the site. In order to reduce the impact of noise and disturbance to neighbours, it is considered that the best location for these kennels is away from the main house and immediate neighbours and closer to the existing commercial kennels.

It is noted that past approvals for kennels on the site, submitted by the previous owners, allowed for up to 54 kennels on the site, including within the curtilage of the main house. This application would allow the Local Planning Authority to limit the kennelling of dogs to the area furthest from the house whilst keeping the numbers of dogs (45 commercial and 7 private) below that previously approved in 2000.

Visual amenity and character of the Green Belt - The new building would be relatively modest in scale, set down from the adjacent field and situated close to the existing cluster of commercial kennels that have been in situ for a number of years. As such the new building would not be particularly prominent within the site. A length of post and wire fencing and three small trees on the boundary were removed recently. It would be appropriate to attach a condition requiring replacement fencing and planting along the same boundary.

Residential amenity - The majority of the development relating to kennels has occurred in the north west corner of the site, away from the immediate neighbours and this has generally been satisfactory.

The revised application sites the kennels away from the boundary with the neighbour and with the building being completely enclosed, would not have a serious impact, over and above the existing kennels, on the amenity of the neighbours.

Traffic - Given that the new kennels are specifically for the applicant's own dogs and that there is a sizeable parking area for customers, there would be no significant traffic or parking issues arising from the proposal. It is noted that there have in the past been issues relating to customers dropping off dogs early in the morning when the gates to the kennels have been closed but these problems have been sporadic and are not related to this proposal.

Objections - The concerns raised by the objectors, relating to noise and access, have been addressed in the above report. The proposed kennels themselves would be restricted to domestic use (the applicant's own dogs) rather than commercial boarding purposes by an appropriate condition. On a wider issue, there would be a condition restricting

In terms of land ownership and encroachment, whilst the building appears to be adjacent to the boundary, these issues are more of a private matter.

Given the previous approvals and the size, siting and use of the new kennels, it is considered that there is sufficient justification to allow the proposal subject to appropriate conditions.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. This decision relates to drawings numbered 456a/CHK/PL, 456a/CHK/LP and 456a/CHK/SPD and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
2. The external finishing materials for the proposal hereby approved shall match those of the existing buildings.
Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/1 Visual Amenity of Bury Unitary Development Plan.
3. The kennels hereby approved shall only be used for the purposes of kennelling the applicant's own domestic dogs and shall for no period be used for commercial/boarding purposes. Should the domestic use of the kennels cease, the building shall be demolished within two months of it ceasing this use.
Reason. In order to retain control over the use of the building pursuant to UDP Policy OL1/2 New Buildings in the Green Belt.
4. Boundary details, including new fencing and planting along the , shall be submitted to, and approved in writing by, the Local Planning Authority within one month of the date of this decision notice. It shall be implemented not later than two months from the date the building is brought into use; and any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted to the written satisfaction of the Local Planning Authority.
Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to UDP Policy EN1/1 - Visual Amenity.
5. No dogs shall be kennelled within the bounds of the area edged in blue on Site

Plan 456a/CHK/SPD other than within those areas indicated for this purpose on site plan.

Reason. In the interests of residential amenity pursuant to UDP Policy EN7/2 Noise Pollution.

For further information on the application please contact **Tom Beirne** on **0161 253 5361**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 57535

**ADDRESS: Dudley House
Clarke's Hill
Whitefield**

Planning, Environmental and Regulatory Services 1:1250



Bury
COUNCIL

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57535

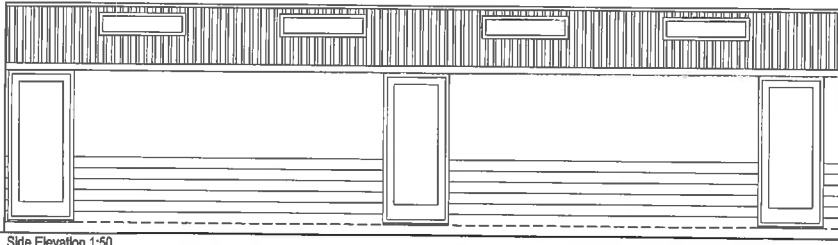
Photo 1



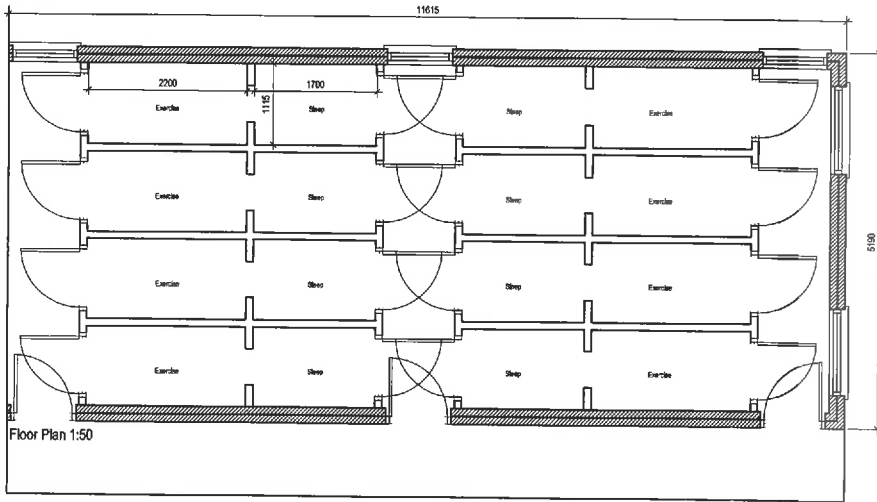
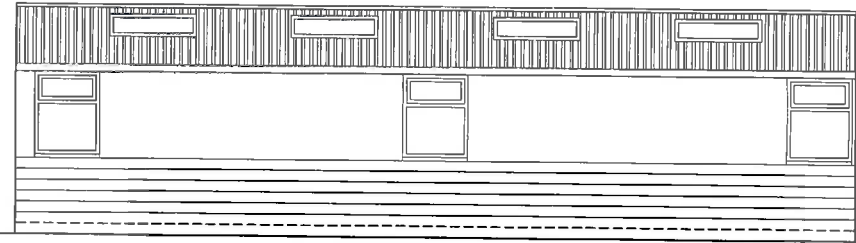
Photo 2



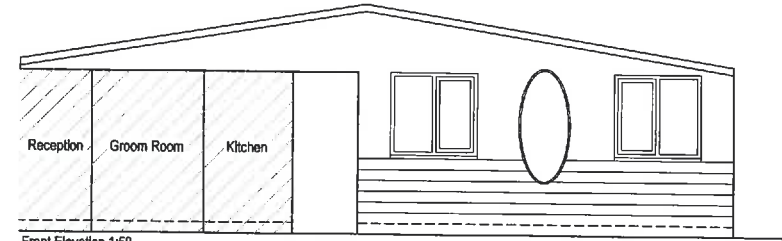
Clarks Hill Kennels and Cattery, Whitefield, Manchester M45 7TG



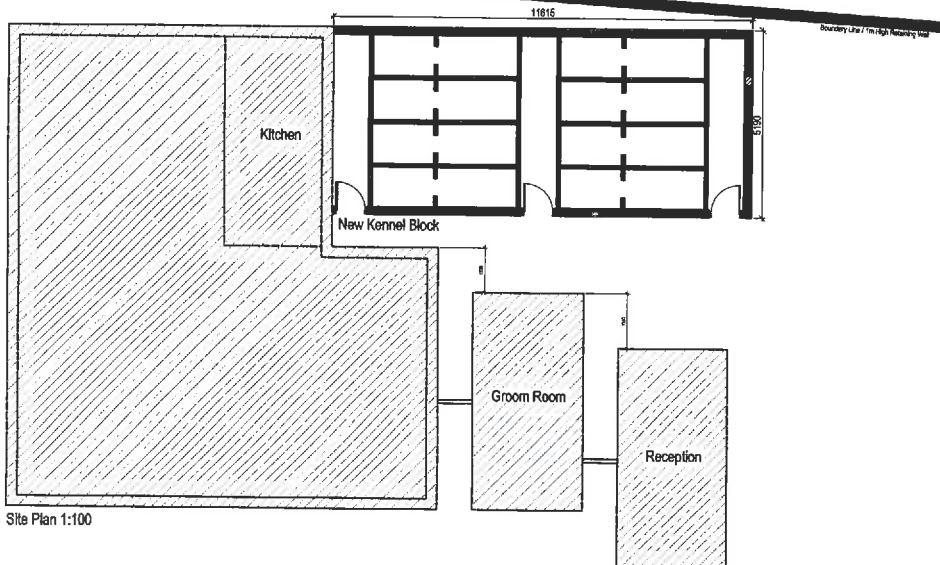
Side Elevation 1:50



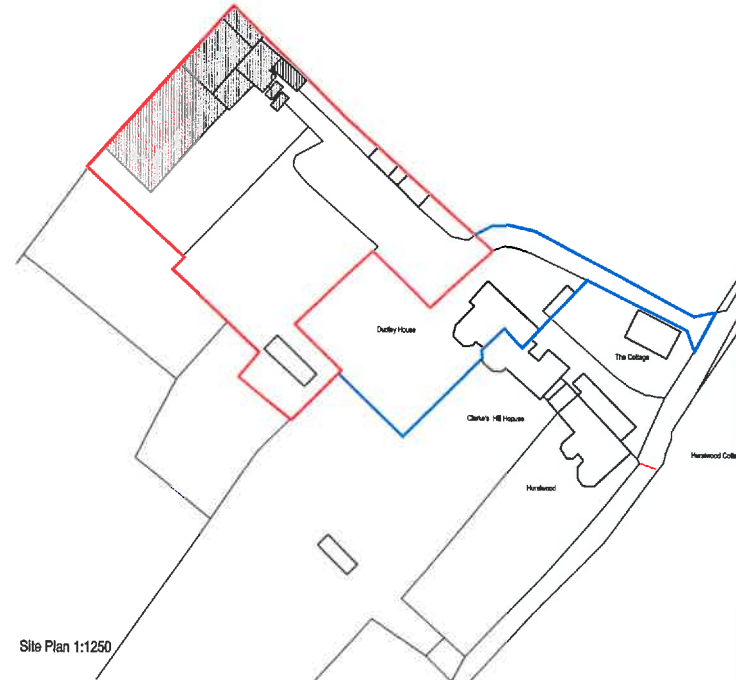
Floor Plan 1:50



Front Elevation 1:50



Site Plan 1:100



Site Plan 1:1250

 bpd Architecture chartered practice <small>Suite 4, Moorfields, 8 East Terrace Bus Park, Eastern Lane Easton, Chorley, Lancashire PR7 6TB</small> Tel: 01257 220810 web: www.bettarpian.co.uk email: info@bettarpian.co.uk			
Project Clarks Hill Kennels and Cattery Whitefield Manchester M45 7TG			
Title Proposed Kennels			
Scale @ A2 As Shown	Date April 2014	Ref Job 456a	Drawn JSWR
Dwg No 456a/CHK/PL			Rev